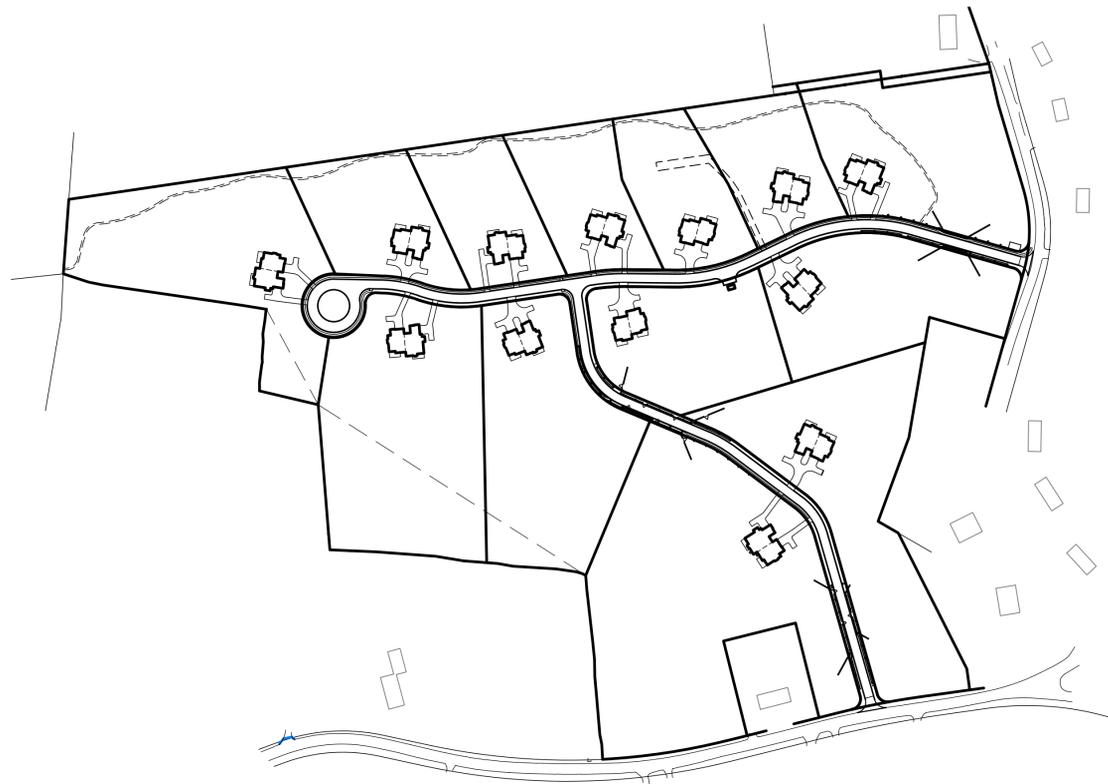


LOCUS MAP:
SCALE: 1" = 1000'



LOCUS CONTEXT MAP:



THE VILLAGE AT SHEPLEY HILL

SAND HILL ROAD & LONGLEY ROAD
(ASSESSOR'S PARCEL # 226 - 2)
-APPLICATION FOR A DEFINITIVE SUBDIVISION-

PLANS AND DESIGN HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE PERFORMANCE STANDARDS SET FORTH IN THE GROTON ZONING BYLAWS, SUBDIVISION RULES & REGULATIONS, AND EARTH REMOVAL & STORMWATER MANAGEMENT BY-LAWS

LOCATED IN
GROTON, MASSACHUSETTS

DATE: FEBRUARY 5, 2021

APPLICANT:
SHEPLEY HILL CAPITAL PARTNERS LLC
176 BARTON ROAD
STOWE, MASSACHUSETTS 01775
(617) 834-2556

RECORD OWNER:
H & G REALTY TRUST
LONGLEY ROAD
383 MAIN STREET
DUNSTABLE, MASSACHUSETTS 01827

LAND SURVEYOR/SITE CIVIL ENGINEER:



DRAWING INDEX:

- SHEET 1 COVER SHEET & LOCUS CONTEXT MAP
- SHEET 2-6 RECORD CONDITIONS PLANS
- SHEET 7-11 PROPERTY RIGHTS PLANS
- SHEET 12-16 GRADING/DRAINAGE PLANS
- SHEET 17-21 PLANS & PROFILES
- SHEET 22 EROSION & SEDIMENT CONTROL PLAN
- SHEET 23-27 DETAIL SHEETS

REQUESTED WAIVERS:

1. SECTION 381-10.C(2) - STREET WIDTHS
MINOR STREETS: 50 FEET OF RIGHT-OF-WAY AND PAVEMENT TO BE 22 FEET.
LANE PROPOSED PER PB REQUEST (40 FOOT R.O.W., PAVEMENT 20 FEET).
2. SECTION 381-10.D(5) - GRADES
ALLOW CUTS AND FILLS GREATER THAN 7 FEET.

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

NOTE:

NO CONSTRUCTION SHALL COMMENCE PRIOR TO ENDORSEMENT BY THE PLANNING BOARD AND EVIDENCE OF RECORDING THE DEFINITIVE PLAN AND COVENANT AT THE REGISTRY OF DEEDS IS SUBMITTED TO THE PLANNING BOARD.

APPROVED BY:
GROTON PLANNING BOARD

I, _____ CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

DATE

DATE

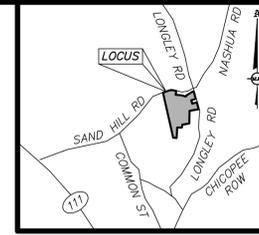
FOR MERIDIAN ASSOCIATES, INC.

FOR REGISTRY OF DEEDS USE ONLY

TEMPORARY BENCHMARK CHART:

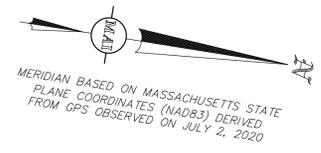
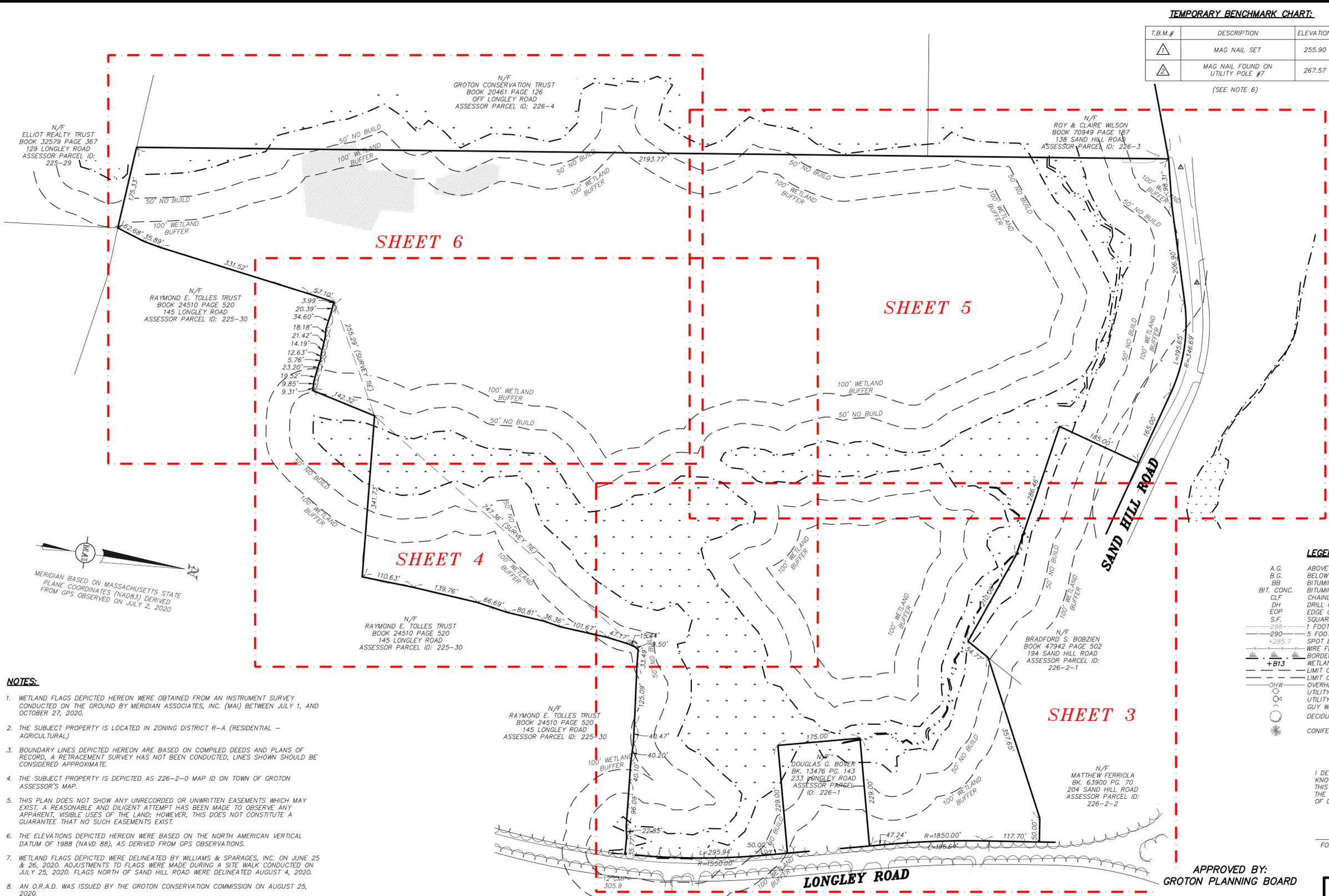
T.B.M.#	DESCRIPTION	ELEVATION
△	MAG NAIL SET	255.90
△	MAG NAIL FOUND ON UTILITY POLE #7	267.57

(SEE NOTE 6)



LOCUS MAP:
(NOT TO SCALE)

REVISIONS	DESCRIPTION	DATE	BY

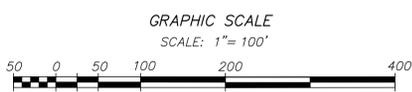


MERIDIAN BASED ON MASSACHUSETTS STATE PLANE COORDINATES (NAD83) DERIVED FROM GPS OBSERVED ON JULY 2, 2020

- NOTES:**
1. WETLAND FLAGS DEPICTED HEREON WERE OBTAINED FROM AN INSTRUMENT SURVEY CONDUCTED ON THE GROUND BY MERIDIAN ASSOCIATES, INC. (MAI) BETWEEN JULY 1, AND OCTOBER 27, 2020.
 2. THE SUBJECT PROPERTY IS LOCATED IN ZONING DISTRICT R-A (RESIDENTIAL - AGRICULTURAL)
 3. BOUNDARY LINES DEPICTED HEREON ARE BASED ON COMPILED DEEDS AND PLANS OF RECORD, A RETRACEMENT SURVEY HAS NOT BEEN CONDUCTED, LINES SHOWN SHOULD BE CONSIDERED APPROXIMATE.
 4. THE SUBJECT PROPERTY IS DEPICTED AS 226-2-0 MAP ID ON TOWN OF GROTON ASSESSOR'S MAP.
 5. THIS PLAN DOES NOT SHOW ANY UNRECORDED OR UNWRITTEN EASEMENTS WHICH MAY EXIST. A REASONABLE AND DILIGENT ATTEMPT HAS BEEN MADE TO OBSERVE ANY APPARENT, VISIBLE USES OF THE LAND; HOWEVER, THIS DOES NOT CONSTITUTE A GUARANTEE THAT NO SUCH EASEMENTS EXIST.
 6. THE ELEVATIONS DEPICTED HEREON WERE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DERIVED FROM GPS OBSERVATIONS.
 7. WETLAND FLAGS DEPICTED WERE DELINEATED BY WILLIAMS & SPARGES, INC. ON JUNE 25 & 26, 2020. ADJUSTMENTS TO FLAGS WERE MADE DURING A SITE WALK CONDUCTED ON JULY 25, 2020. FLAGS NORTH OF SAND HILL ROAD WERE DELINEATED AUGUST 4, 2020.
 8. AN O.R.A.D. WAS ISSUED BY THE GROTON CONSERVATION COMMISSION ON AUGUST 25, 2020.

RECORD OWNER:
H & G REALTY TRUST
LONGLEY ROAD
383 MAIN STREET
DUNSTABLE, MA 01827
- BOOK 19574 PAGE 223

- REFERENCES:**
- PLAN NO. 571 OF 2014
 - PLAN NO. 899 OF 2006
 - PLAN NO. 853 OF 1988
- DOCUMENTS ON RECORD AT THE MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS.
- AN UNRECORDED PLAN TITLED "PRELIMINARY PLAN OF LAND, GROTON, MASS." PREPARED BY NORSE DESIGN SERVICES, INC. LAST REVISED APRIL 26, 2004
 - PRELIMINARY SUBDIVISION PLANS ENTITLED "THE VILLAGE AT SHEPLEY HILL" PREPARED BY MERIDIAN ASSOCIATES, INC. LAST REVISED OCT. 5, 2020 AND APPROVED OCT. 8, 2020



LEGEND:

A.G.	ABOVE GROUND
B.G.	BELOW GROUND
BB	BITUMINOUS BERM
BIT. CONC.	BITUMINOUS CONCRETE
CLF	CHAINLINK FENCE
DH	DRILL HOLE
EOP	EDGE OF PAVEMENT
S.F.	SQUARE FEET
-298	1 FOOT CONTOUR
-290	5 FOOT CONTOUR
+285.7	SPOT ELEVATION
---	WIRE FENCE
---	BORDERING VEGETATED WETLANDS
---	WETLAND FLAG
---	LIMIT OF BUFFER ZONE
---	LIMIT OF RIVERFRONT AREA
OHW	OVERHEAD WIRES
○	UTILITY POLE WITH LIGHT
○	GUY WIRE
○	DECIDUOUS TREE
○	CONIFEROUS TREE

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

APPROVED BY:
GROTON PLANNING BOARD

FOR MERIDIAN ASSOCIATES, INC. DATE _____
FOR REGISTRY OF DEEDS USE ONLY

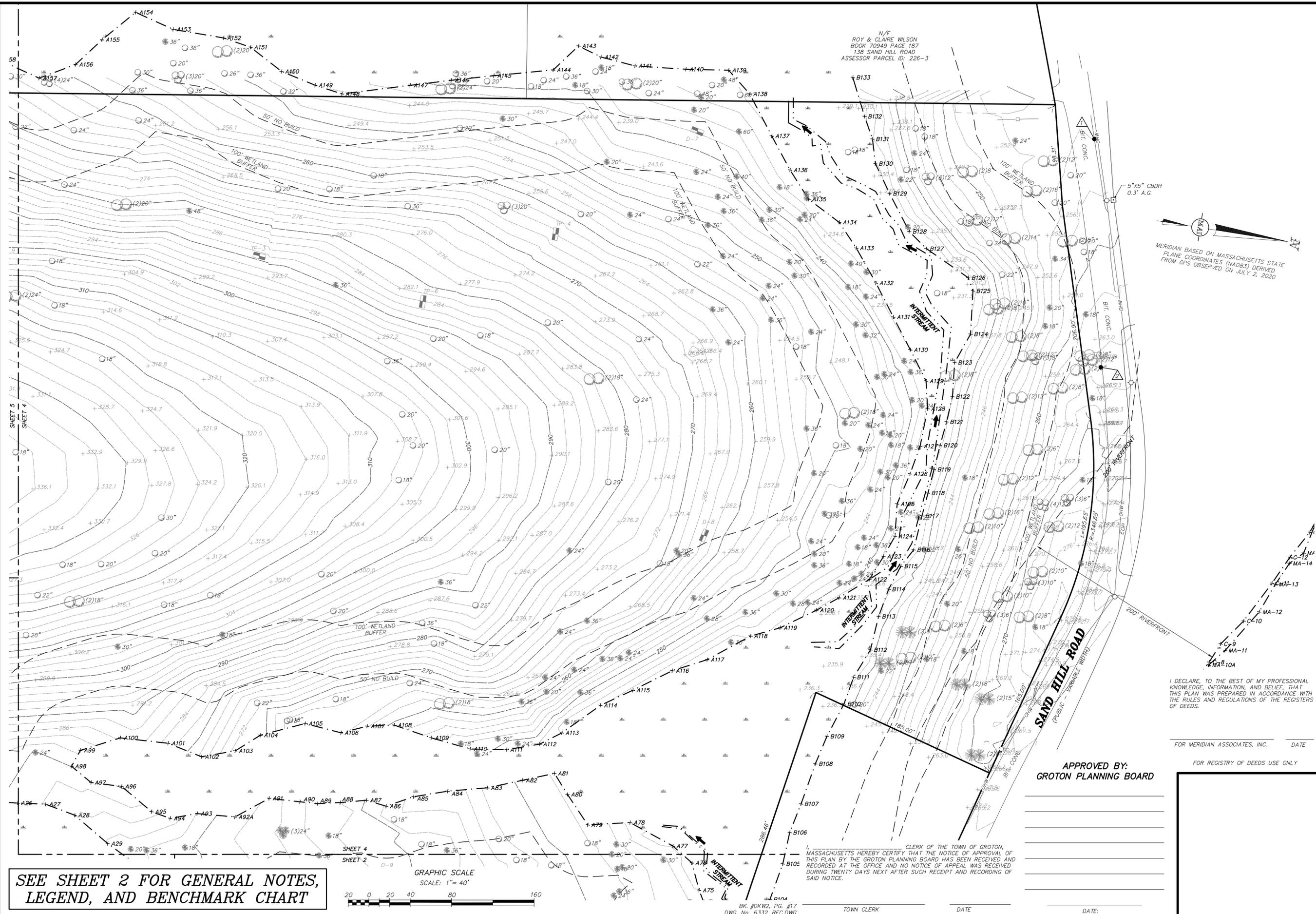
THE VILLAGE AT SHEPLEY HILL
RECORD CONDITIONS PLAN
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

MERIDIAN ASSOCIATES
60 MILE STREET, SUITE 208
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOC.COM

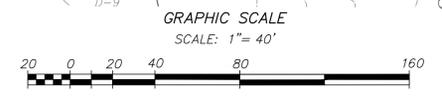
DATE: FEBRUARY 5, 2021
SCALE: 1"=100'
SHEET No. 2 of 27
PROJECT No. 6332

I, _____ CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK _____ DATE _____ DATE: _____



**SEE SHEET 2 FOR GENERAL NOTES,
LEGEND, AND BENCHMARK CHART**



I, CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

**APPROVED BY:
GROTON PLANNING BOARD**

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

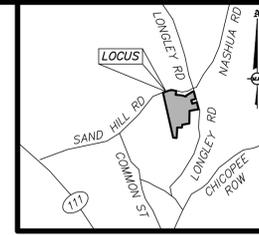
FOR MERIDIAN ASSOCIATES, INC. DATE _____
FOR REGISTRY OF DEEDS USE ONLY

REVISIONS	DATE	DESCRIPTION	BY

**THE VILLAGE AT SHEPLEY HILL
RECORD CONDITIONS PLAN
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC**

MERIDIANS ASSOCIATES
60 MILE STREET, SUITE 208
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANSASSOCIATES.COM

DATE: FEBRUARY 5, 2021
SCALE: 1" = 40'
SHEET No. **5 OF 27**
PROJECT No. **6332**



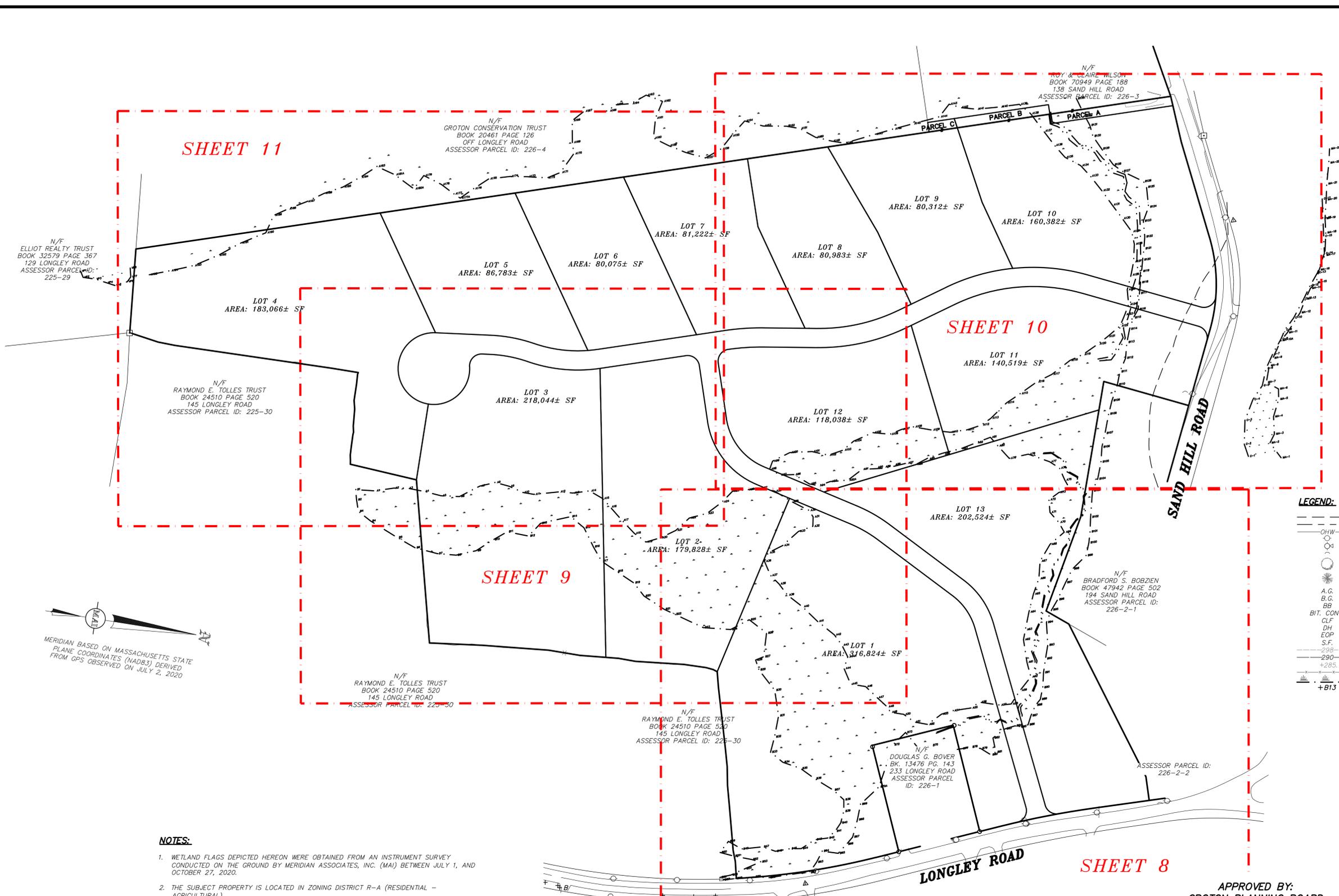
REVISIONS	DATE	DESCRIPTION	BY

SHEET 11

SHEET 10

SHEET 9

SHEET 8



LEGEND:

- LIMIT OF BUFFER ZONE
- LIMIT OF RIVERFRONT AREA
- OVERHEAD WIRES
- UTILITY POLE
- UTILITY POLE WITH LIGHT
- GUY WIRE
- DECIDUOUS TREE
- CONIFEROUS TREE
- A.G. ABOVE GROUND
- B.G. BELOW GROUND
- BB BITUMINOUS BERM
- BIT. CONC. BITUMINOUS CONCRETE
- CLF CHAINLINK FENCE
- DH DRILL HOLE
- EOP EDGE OF PAVEMENT
- S.F. SQUARE FEET
- 290 1 FOOT CONTOUR
- 290 5 FOOT CONTOUR
- +285.7 SPOT ELEVATION
- WIRE FENCE
- BORDERING VEGETATED WETLANDS
- +B13 WETLAND FLAG

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE _____
FOR REGISTRY OF DEEDS USE ONLY

APPROVED BY:
GROTON PLANNING BOARD

I, _____ CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

GRAPHIC SCALE
SCALE: 1" = 100'



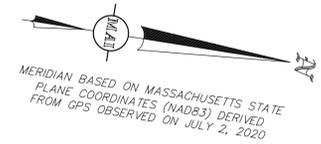
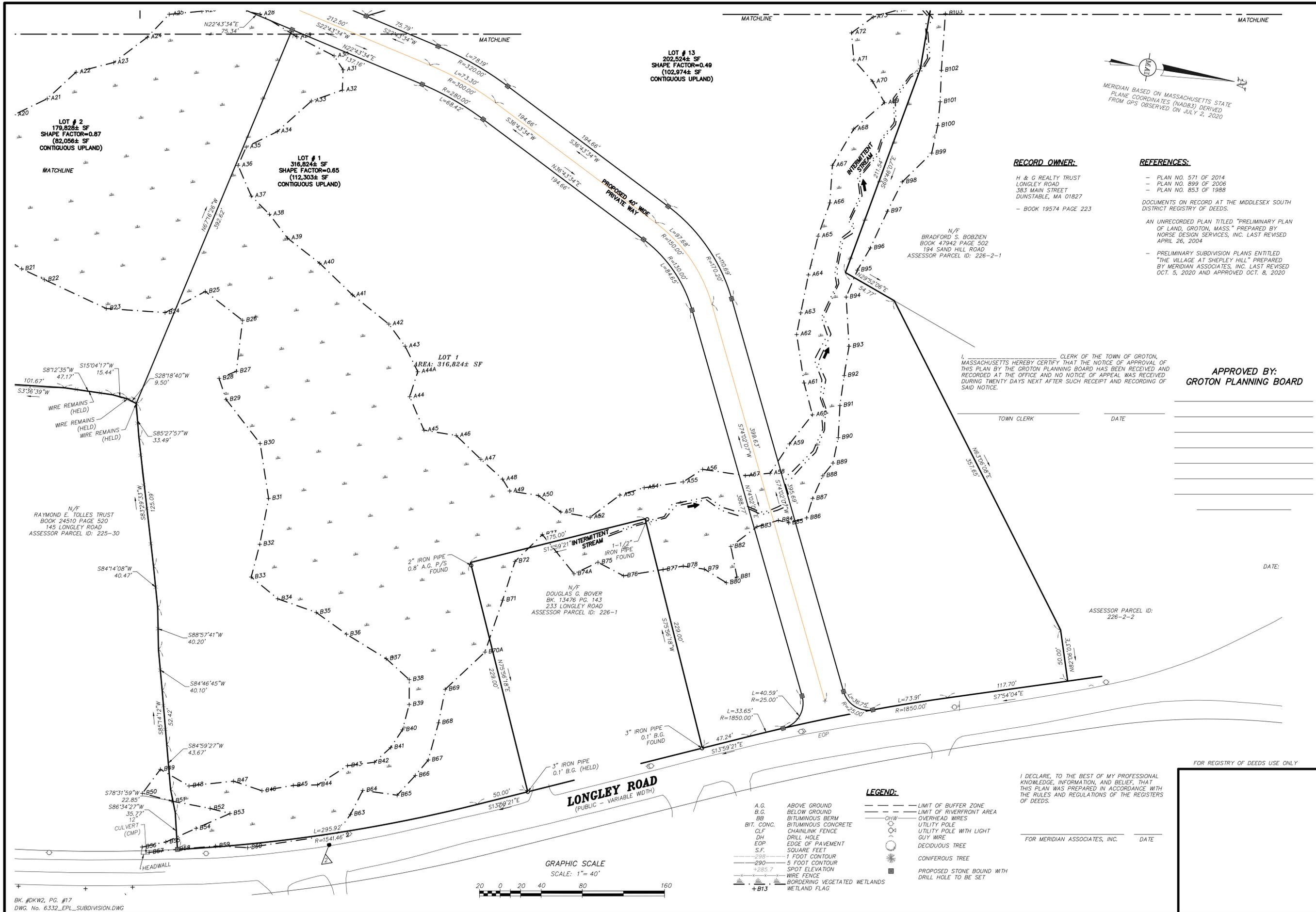
NOTES:

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- AN O.R.A.D. WAS ISSUED BY THE GROTON CONSERVATION COMMISSION ON AUGUST 25, 2020.

THE VILLAGE AT SHEPLEY HILL
PROPERTY RIGHTS KEY PLAN
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

MERIDIAN ASSOCIATES
60 MILE STREET, SUITE 208
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOC.COM

DESIGNED BY: _____
CHECKED BY: CEW
DATE: FEBRUARY 5, 2021
SCALE: 1" = 100'
SHEET No. 7 of 27
PROJECT No. 6332



MERIDIAN BASED ON MASSACHUSETTS STATE PLANE COORDINATES (NAD83) DERIVED FROM GPS OBSERVED ON JULY 2, 2020

RECORD OWNER:
 H & G REALTY TRUST
 LONGLEY ROAD
 383 MAIN STREET
 DUNSTABLE, MA 01827
 - BOOK 19574 PAGE 223

REFERENCES:
 - PLAN NO. 571 OF 2014
 - PLAN NO. 899 OF 2006
 - PLAN NO. 853 OF 1988
 DOCUMENTS ON RECORD AT THE MIDDLESEX SOUTH DISTRICT REGISTRY OF DEEDS.
 AN UNRECORDED PLAN TITLED "PRELIMINARY PLAN OF LAND, GROTON, MASS." PREPARED BY NORSE DESIGN SERVICES, INC. LAST REVISED APRIL 26, 2004
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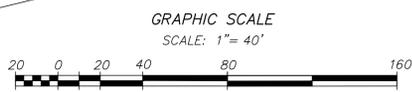
I, _____ CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

APPROVED BY:
 GROTON PLANNING BOARD

TOWN CLERK _____ DATE _____

DATE: _____

ASSESSOR PARCEL ID: 226-2-2



LEGEND:

- A.G. ABOVE GROUND
- B.G. BELOW GROUND
- BB BITUMINOUS BERM
- BIT. CONC. BITUMINOUS CONCRETE
- CLF CHAINLINK FENCE
- OH DRILL HOLE
- EOP EDGE OF PAVEMENT
- S.F. SQUARE FEET
- 298- 1 FOOT CONTOUR
- 290- 5 FOOT CONTOUR
- +285.7 SPOT ELEVATION
- WIRE FENCE
- +B13 BORDERING VEGETATED WETLANDS
- WETLAND FLAG
- LIMIT OF BUFFER ZONE
- LIMIT OF RIVERFRONT AREA
- OHW OVERHEAD WIRES
- UTILITY POLE
- UTILITY POLE WITH LIGHT
- GUY WIRE
- DECIDUOUS TREE
- CONIFEROUS TREE
- PROPOSED STONE BOUND WITH DRILL HOLE TO BE SET

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE _____

FOR REGISTRY OF DEEDS USE ONLY

REVISIONS	DATE	DESCRIPTION	BY

THE VILLAGE AT SHEPLEY HILL
 PROPERTY RIGHTS PLAN
 LOCATED IN
 GROTON, MASSACHUSETTS
 (MIDDLESEX COUNTY)
 PREPARED FOR
 SHEPLEY HILL CAPITAL PARTNERS LLC

MERIDIANS ASSOCIATES
 60 MILE STREET, SUITE 208
 WESTBOROUGH, MASSACHUSETTS 01581
 TELEPHONE: (978) 299-0447
 WWW.MERIDIANSASSOCIATES.COM
 CHECKED BY: CEW

DATE: FEBRUARY 5, 2021
 SCALE: 1"=40'
 SHEET No. 8 OF 27
 PROJECT No. 6332

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

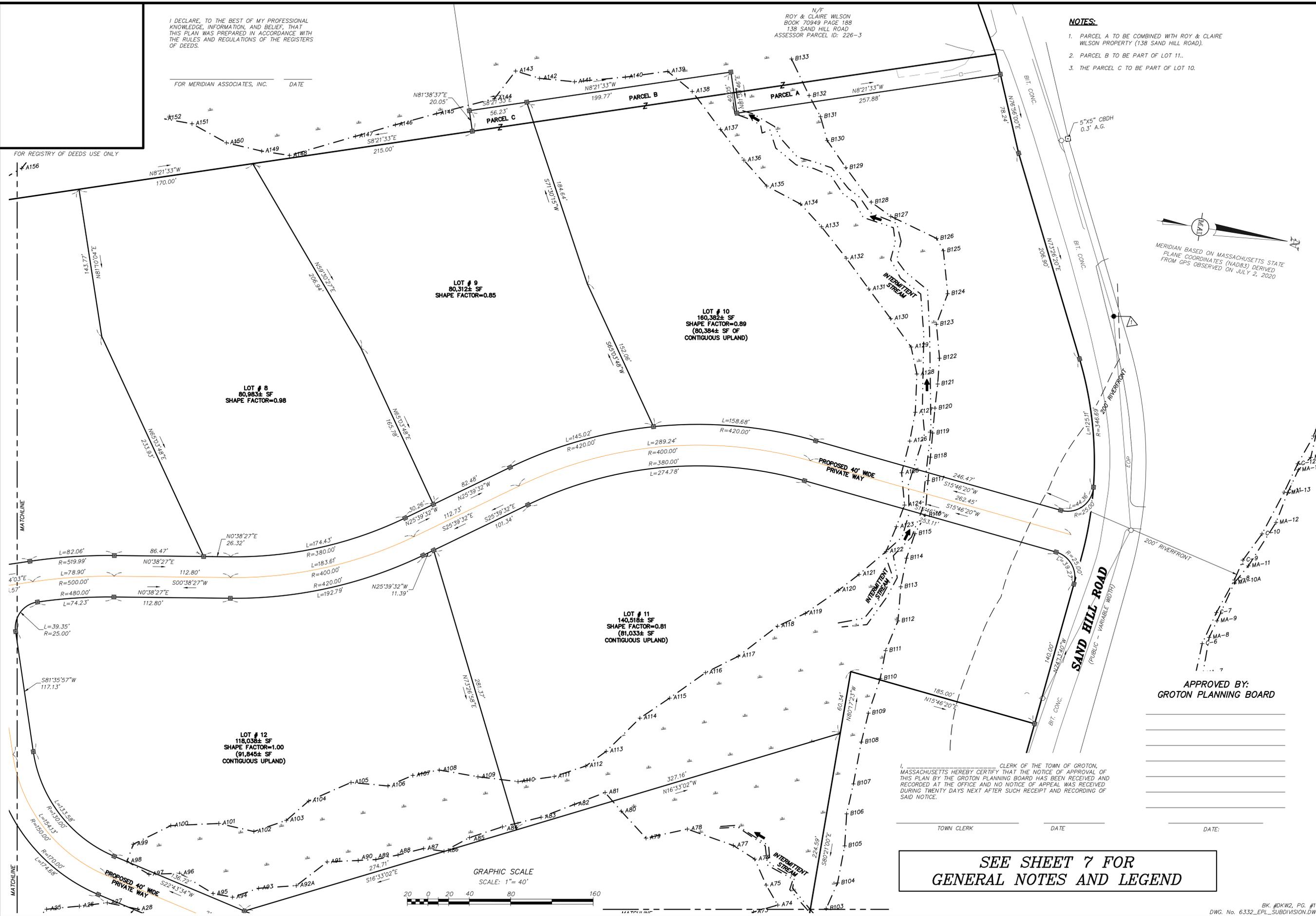
FOR MERIDIAN ASSOCIATES, INC. DATE

FOR REGISTRY OF DEEDS USE ONLY

N/F ROY & CLAIRE WILSON BOOK 70949 PAGE 188 138 SAND HILL ROAD ASSESSOR PARCEL ID: 226-3

NOTES:

1. PARCEL A TO BE COMBINED WITH ROY & CLAIRE WILSON PROPERTY (138 SAND HILL ROAD).
2. PARCEL B TO BE PART OF LOT 11.
3. THE PARCEL C TO BE PART OF LOT 10.



MERIDIAN BASED ON MASSACHUSETTS STATE PLANE COORDINATES (NAD83) DERIVED FROM GPS OBSERVED ON JULY 2, 2020

I, _____, CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK DATE DATE:

SEE SHEET 7 FOR GENERAL NOTES AND LEGEND

APPROVED BY:
GROTON PLANNING BOARD

REVISIONS	DATE	DESCRIPTION	BY

THE VILLAGE AT SHEPLEY HILL
PROPERTY RIGHTS PLAN
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

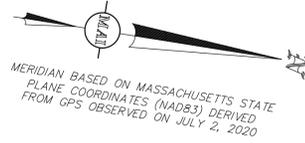
MERIDIAN ASSOCIATES
60 MILE STREET, SUITE 208
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOC.COM
DESIGNED BY: CEW
CHECKED BY: CEW

DATE: FEBRUARY 5, 2021
SCALE: 1"=40'
SHEET No. 10 OF 27
PROJECT No. 6332

APPROVED BY:
GROTON PLANNING BOARD

CLERK OF THE TOWN OF GROTON,
MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF
THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND
RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED
DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF
SAID NOTICE.

TOWN CLERK _____ DATE _____



N/F
GROTON CONSERVATION TRUST
BOOK 20461 PAGE 126
OFF LONGLEY ROAD
ASSESSOR PARCEL ID: 226-4

N/F
OT REALTY TRUST
C. 32579 PAGE 367
9 LONGLEY ROAD
ASSESSOR PARCEL ID:
225-29

RING OF STONE

N/F
OT REALTY TRUST
C. 32579 PAGE 367
9 LONGLEY ROAD
ASSESSOR PARCEL ID:
225-29

LOT # 4
183,066± SF
SHAPE FACTOR=0.62
(171,702± SF
CONTIGUOUS UPLAND)

LOT # 5
86,783± SF
SHAPE FACTOR=0.89

LOT # 6
80,075± SF
SHAPE FACTOR=0.91

LOT # 7
81,222± SF
SHAPE FACTOR=0.86

N/F
RAYMOND E. TOLLES TRUST
BOOK 24510 PAGE 520
145 LONGLEY ROAD
ASSESSOR PARCEL ID: 225-30

SEE SHEET 7 FOR
GENERAL NOTES AND LEGEND

FOR REGISTRY OF DEEDS USE ONLY

I DECLARE, TO THE BEST OF MY PROFESSIONAL
KNOWLEDGE, INFORMATION, AND BELIEF, THAT
THIS PLAN WAS PREPARED IN ACCORDANCE WITH
THE RULES AND REGULATIONS OF THE REGISTERS
OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE _____

MATCHLINE

GRAPHIC SCALE
SCALE: 1" = 40'



BK. #BKW2, PG. #17
DWG. No. 6332_EPL_SUBDIVISION.DWG

REVISIONS	DATE	DESCRIPTION	BY

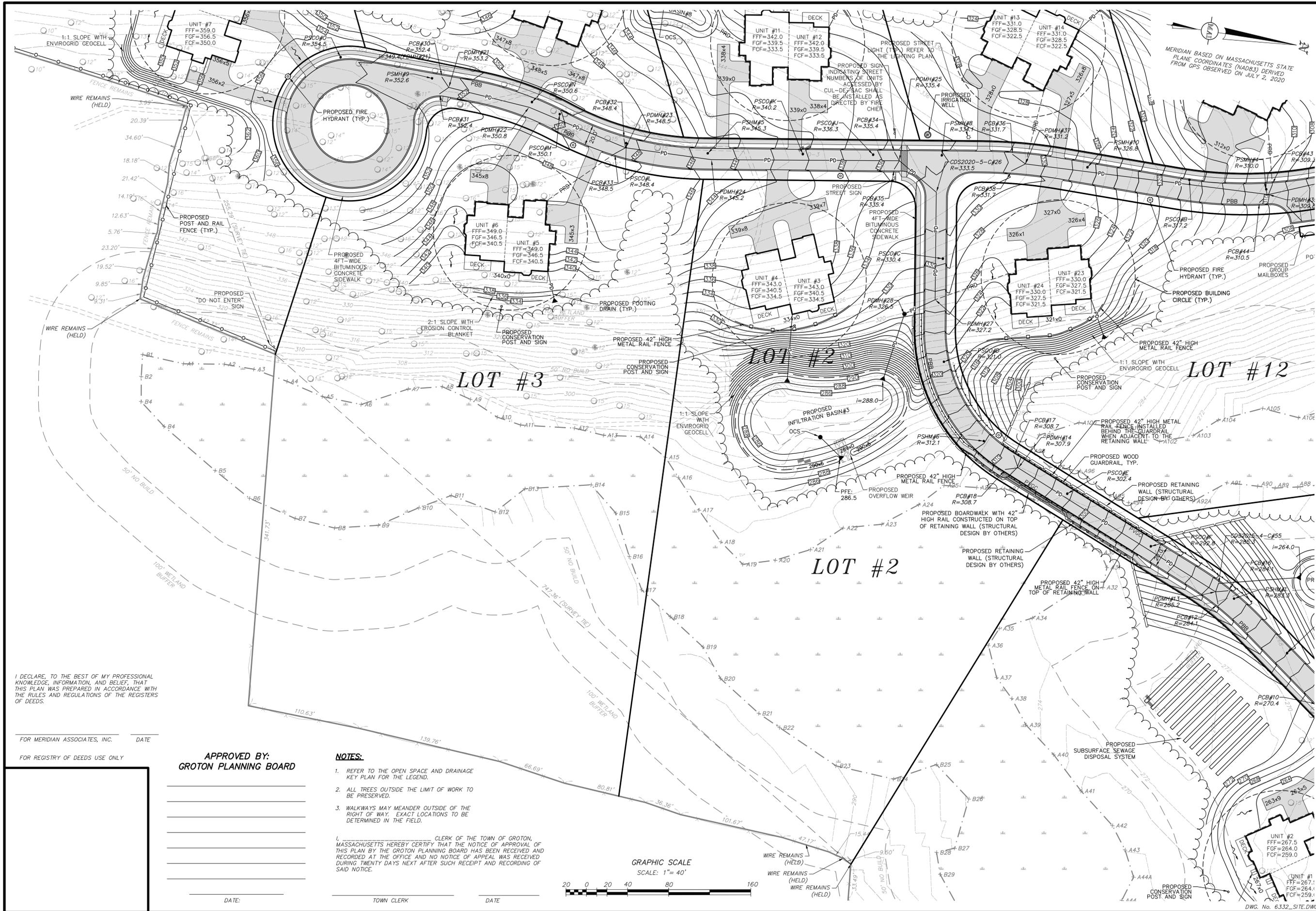
THE VILLAGE AT SHEPLEY HILL
PROPERTY RIGHTS PLAN
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

MERIDIAN ASSOCIATES
500 CLUMMINGS CENTER, SUITE 600
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOC.COM

60 MILE STREET, SUITE 208
WESTBOROUGH, MASSACHUSETTS 01581
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOC.COM

DESIGNED BY: CEW
CHECKED BY: CEW

DATE: FEBRUARY 5, 2021
SCALE: 1" = 40'
SHEET No. 11 OF 27
PROJECT No. 6332



MERIDIAN BASED ON MASSACHUSETTS STATE PLANE COORDINATES (NAD83) DERIVED FROM GPS OBSERVED ON JULY 2, 2020

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE: _____
 FOR REGISTRY OF DEEDS USE ONLY

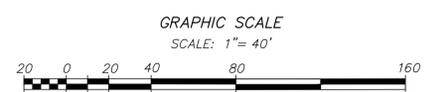
APPROVED BY:
 GROTON PLANNING BOARD

NOTES:

- REFER TO THE OPEN SPACE AND DRAINAGE KEY PLAN FOR THE LEGEND.
- ALL TREES OUTSIDE THE LIMIT OF WORK TO BE PRESERVED.
- WALKWAYS MAY MEANDER OUTSIDE OF THE RIGHT OF WAY. EXACT LOCATIONS TO BE DETERMINED IN THE FIELD.

I, _____ CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

DATE: _____ TOWN CLERK DATE: _____



REVISIONS	DATE	DESCRIPTION	BY

THE VILLAGE AT SHEPLEY HILL
 GRADING/DRAINAGE PLAN
 LOCATED IN
 GROTON, MASSACHUSETTS
 (MIDDLESEX COUNTY)
 PREPARED FOR
 SHEPLEY HILL CAPITAL PARTNERS LLC

MERIDIAN ASSOCIATES
 500 CUMMINGS CENTER, SUITE 5950
 BEVERLY, MASSACHUSETTS 01915
 TELEPHONE: (978) 299-0447
 WWW.MERIDIANASSOC.COM

DESIGNED BY: CEW
 CHECKED BY: CEW
 DATE: FEBRUARY 5, 2021
 SCALE: 1"=40'
 SHEET No. 14 of 27
 PROJECT No. 6332
 DWG. No. 6.332_SITE.DWG




 MERIDIAN BASED ON MASSACHUSETTS STATE
 PLANE COORDINATES (NAD83) DERIVED
 FROM GPS OBSERVED ON JULY 2, 2020

REVISIONS	DATE	DESCRIPTION

THE VILLAGE AT SHEPLEY HILL
 GRADING/DRAINAGE PLAN
 LOCATED IN
GROTON, MASSACHUSETTS
 (MIDDLESEX COUNTY)
 PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

MERIDIAN ASSOCIATES
 69 MILK STREET, SUITE 208
 BEVERLY, MASSACHUSETTS 01915
 WESTBOROUGH, MASSACHUSETTS 01581
 TELEPHONE: (978) 299-0447
 WWW.MERIDIANASSOC.COM

I DECLARE, TO THE BEST OF MY PROFESSIONAL
 KNOWLEDGE, INFORMATION, AND BELIEF, THAT
 THIS PLAN WAS PREPARED IN ACCORDANCE WITH
 THE RULES AND REGULATIONS OF THE REGISTERS
 OF DEEDS.

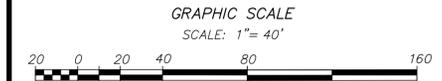
FOR MERIDIAN ASSOCIATES, INC. DATE: _____
 FOR REGISTRY OF DEEDS USE ONLY

DESIGNED BY: CEW
 CHECKED BY: CEW
 DATE: FEBRUARY 5, 2021
 SCALE: 1"=40'
 SHEET No. **15 of 27**
 PROJECT No. **6332**

- NOTES:**
- REFER TO THE OPEN SPACE AND DRAINAGE KEY PLAN FOR THE LEGEND.
 - ALL TREES OUTSIDE THE LIMIT OF WORK TO BE PRESERVED.
 - WALKWAYS MAY MEANDER OUTSIDE OF THE RIGHT OF WAY. EXACT LOCATIONS TO BE DETERMINED IN THE FIELD.

APPROVED BY:
GROTON PLANNING BOARD

CLERK OF THE TOWN OF GROTON,
 MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF
 THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND
 RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED
 DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF
 SAID NOTICE.

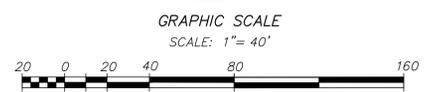


MERIDIAN BASED ON MASSACHUSETTS STATE PLANE COORDINATES (NAD83) DERIVED FROM GPS OBSERVED ON JULY 2, 2020

N/F ELLIOT REALTY TRUST BOOK 32579 PAGE 367 129 LONGLEY ROAD ASSESSOR PARCEL ID: 225-29

N/F GROTON CONSERVATION TRUST BOOK 20461 PAGE 126 OFF LONGLEY ROAD ASSESSOR PARCEL ID: 226-4

N/F RAYMOND E. TOLLES TRUST BOOK 24510 PAGE 520 145 LONGLEY ROAD ASSESSOR PARCEL ID: 225-30



I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

- NOTES:**
- REFER TO THE OPEN SPACE AND DRAINAGE KEY PLAN FOR THE LEGEND.
 - ALL TREES OUTSIDE THE LIMIT OF WORK TO BE PRESERVED.
 - WALKWAYS MAY MEANDER OUTSIDE OF THE RIGHT OF WAY. EXACT LOCATIONS TO BE DETERMINED IN THE FIELD.

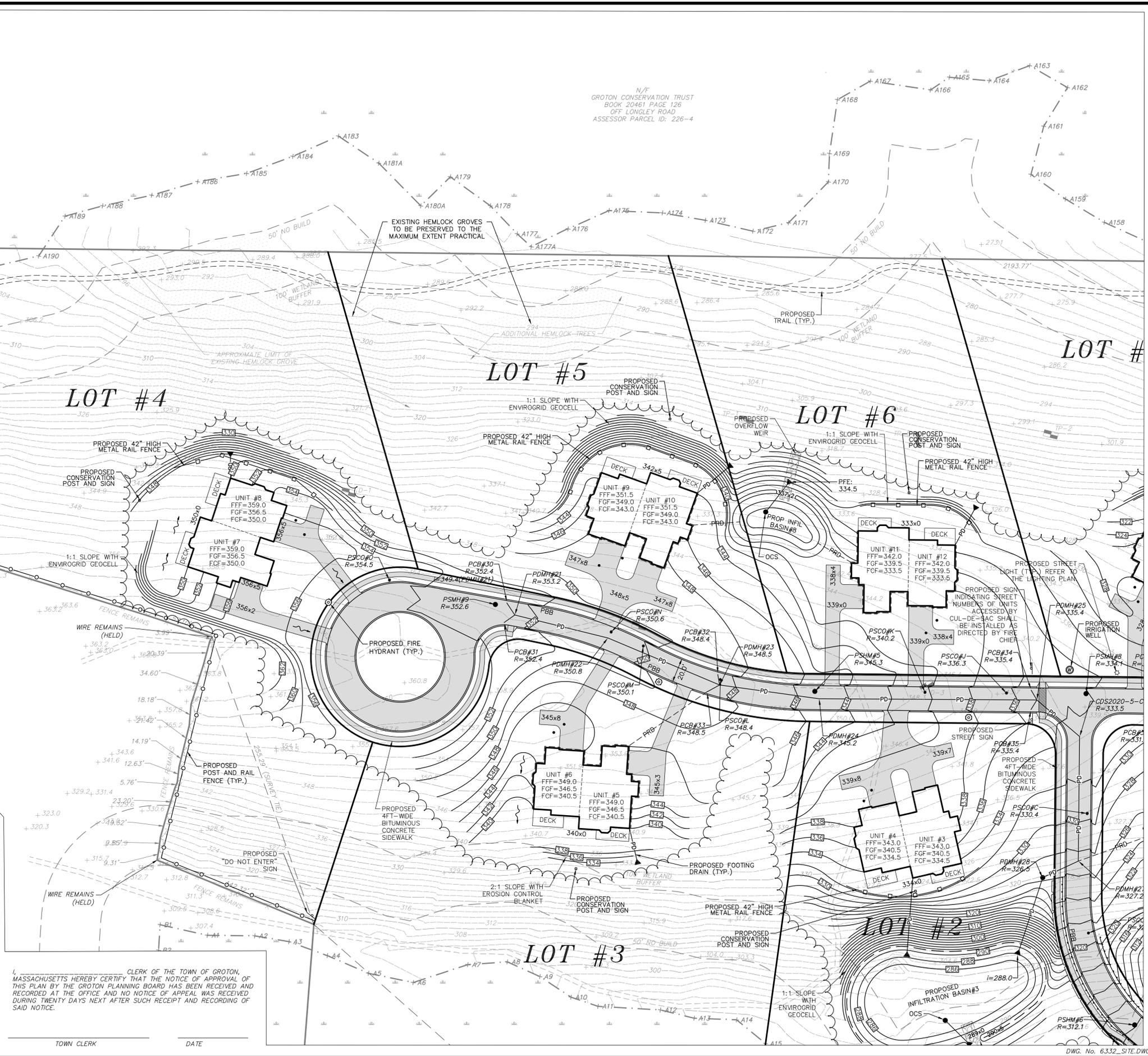
APPROVED BY:
GROTON PLANNING BOARD

DATE: _____

TOWN CLERK

DATE: _____

I, _____ CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.



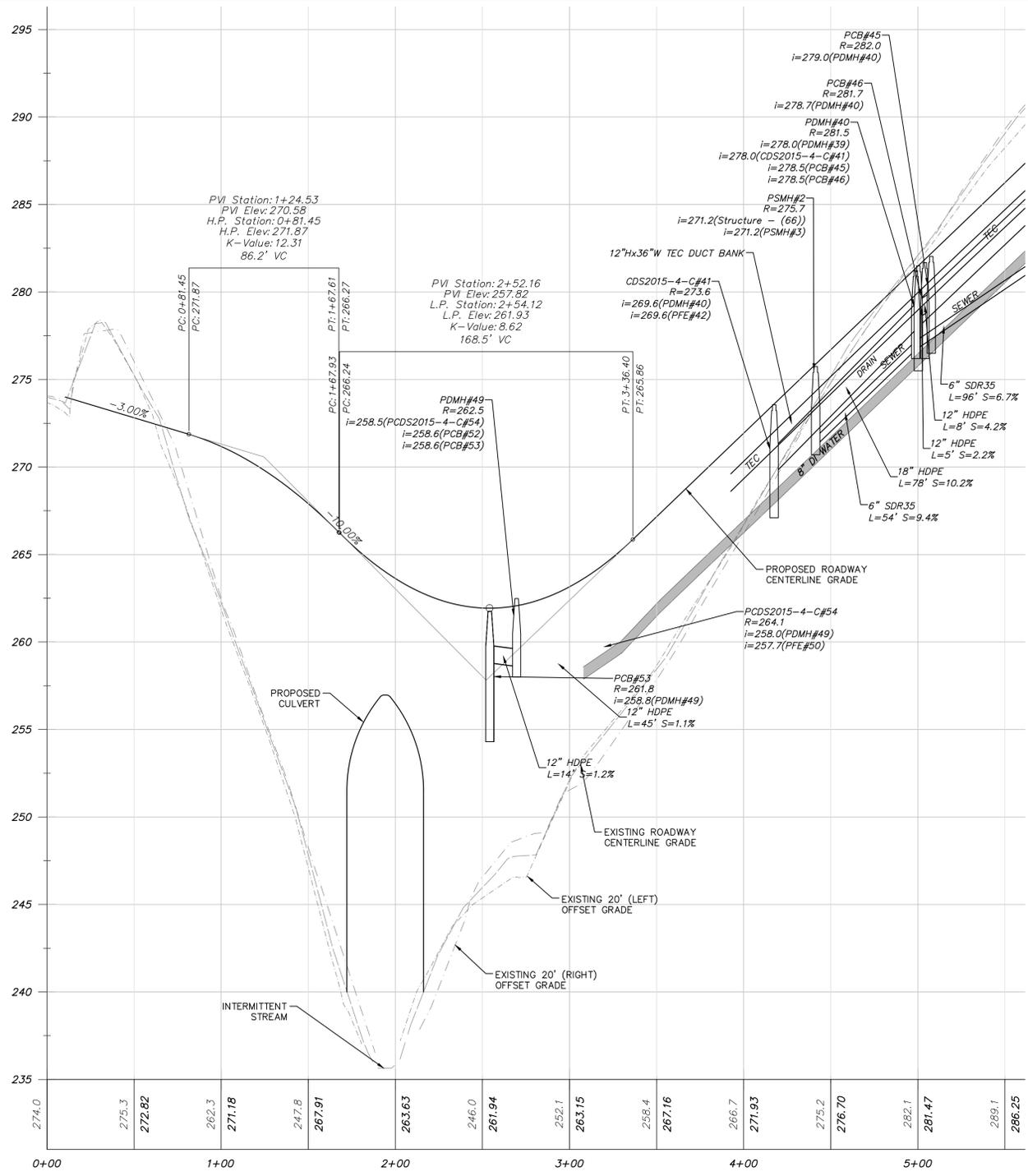
REVISIONS	DATE	DESCRIPTION

THE VILLAGE AT SHEPLEY HILL
GRADING/DRAINAGE PLAN
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

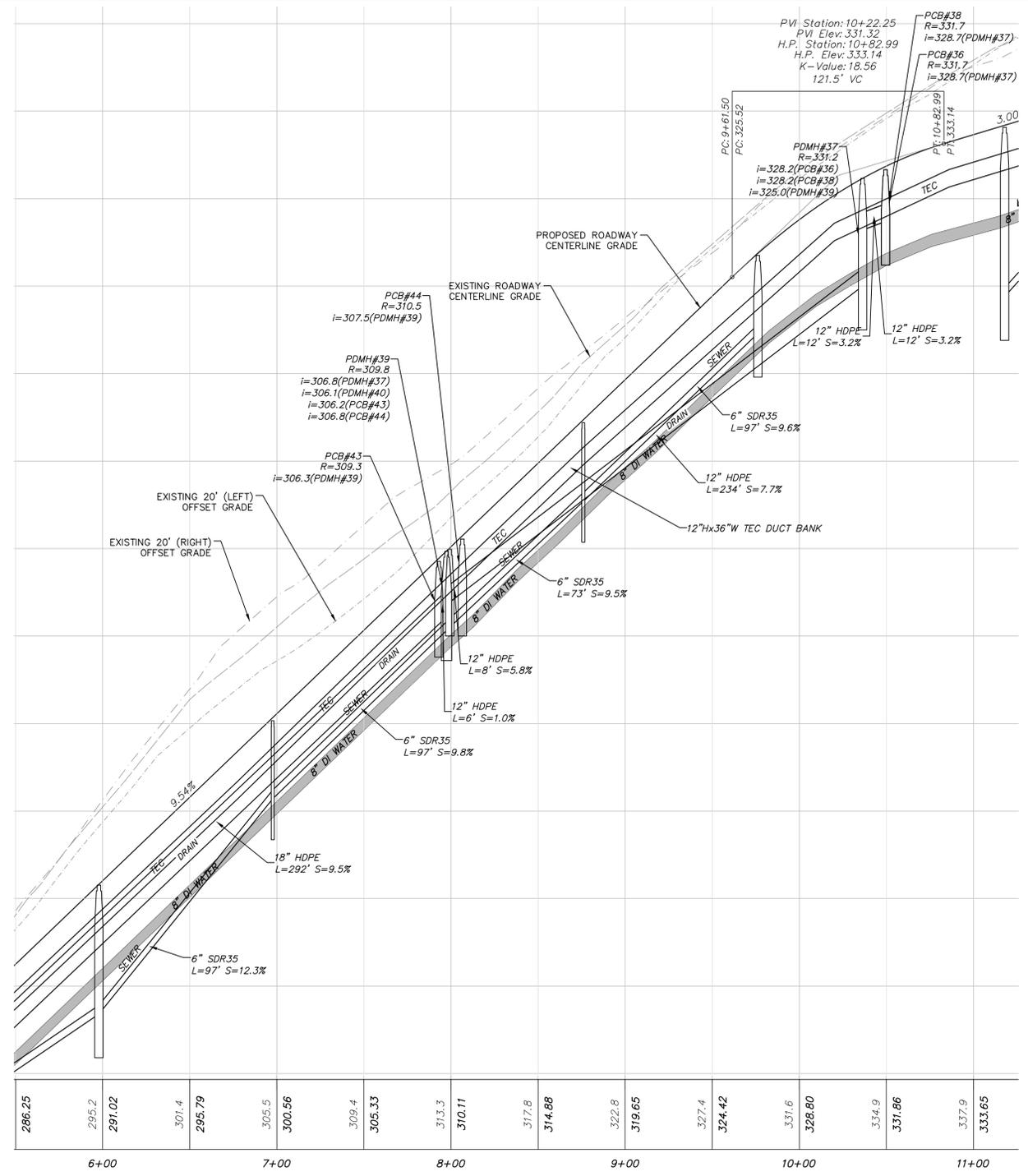
MERIDIAN ASSOCIATES
69 MILK STREET, SUITE 208
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOC.COM

DESIGNED BY: _____
CHECKED BY: CEW

DATE: FEBRUARY 5, 2021
SCALE: 1"=40'
SHEET No. 16 OF 27
PROJECT No. 6332



**PROFILE VIEW - PART 1
STATION 0+00 TO 5+50**



**PROFILE VIEW - PART 2
STATION 5+50 TO 11+00**

SCALE: 1" = 4' VERT.
1" = 40' HOR.

I, _____ CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

**APPROVED BY:
GROTON PLANNING BOARD**

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR REGISTRY OF DEEDS USE ONLY

REVISIONS	DATE	DESCRIPTION

**THE VILLAGE AT SHEPLEY HILL
ROAD A - PLAN & PROFILE**
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

MERIDIAN ASSOCIATES
69 MILK STREET, SUITE 208
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOC.COM

DESIGNED BY: CEW
CHECKED BY: CEW

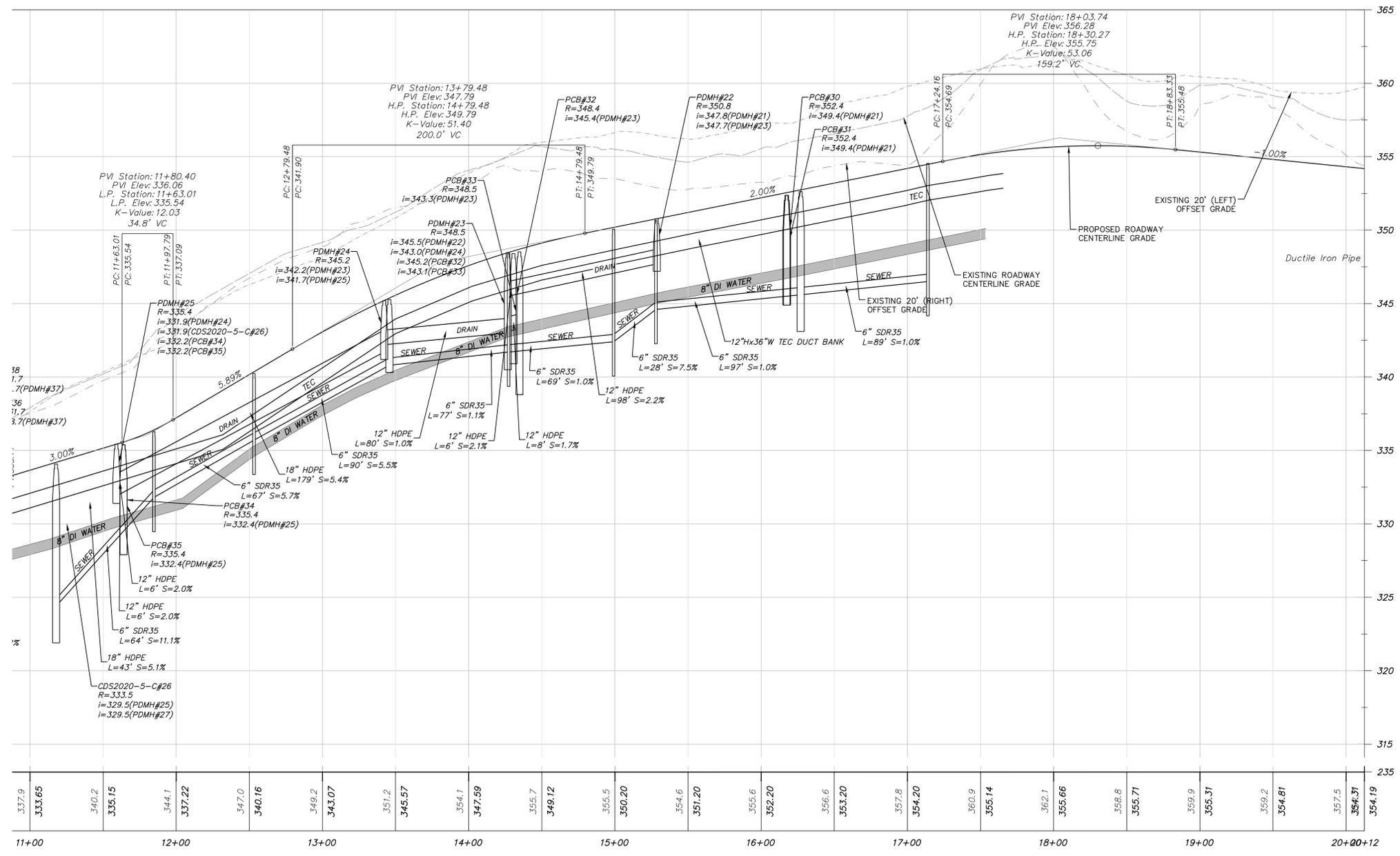
DATE:
FEBRUARY 5, 2021

SCALE:
1" = 40'

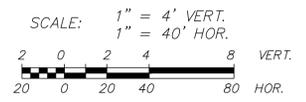
SHEET No.
19 OF 27

PROJECT No.
6332

DWG. No. 6332_SITE.DWG TOWN CLERK DATE DATE FOR MERIDIAN ASSOCIATES, INC. DATE



PROFILE VIEW - PART 3
STATION 11+00 TO 20+12



DWG. No. 6332_SITE.DWG

I, _____ CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

APPROVED BY:
GROTON PLANNING BOARD

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE _____
FOR REGISTRY OF DEEDS USE ONLY

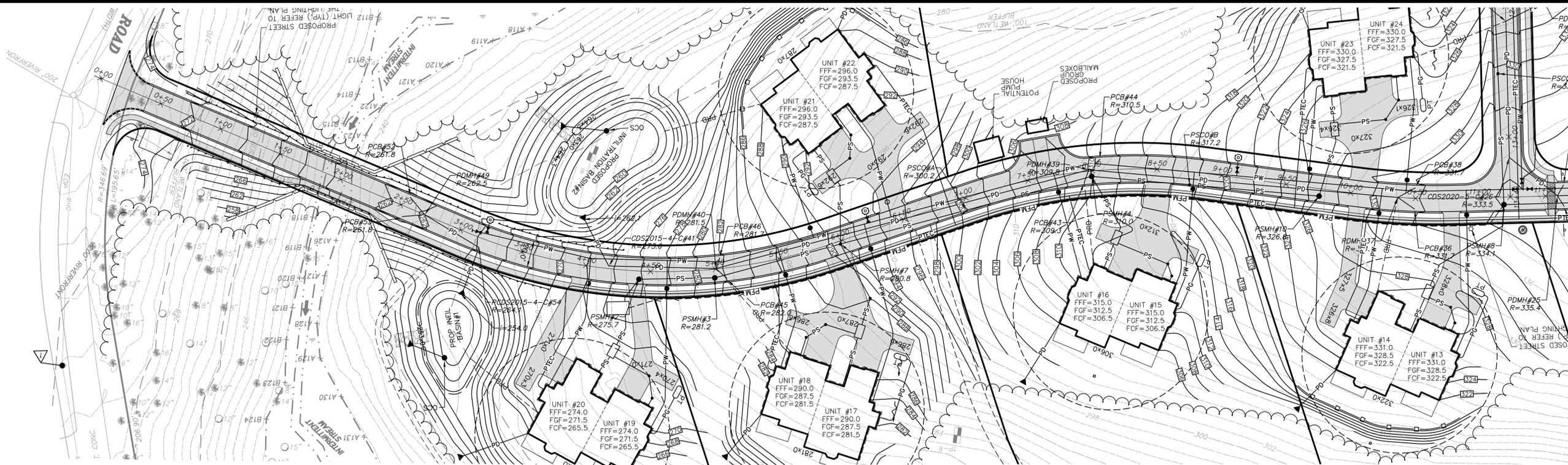
REVISIONS	DATE	DESCRIPTION	BY

THE VILLAGE AT SHEPLEY HILL
ROAD A - PLAN & PROFILE
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

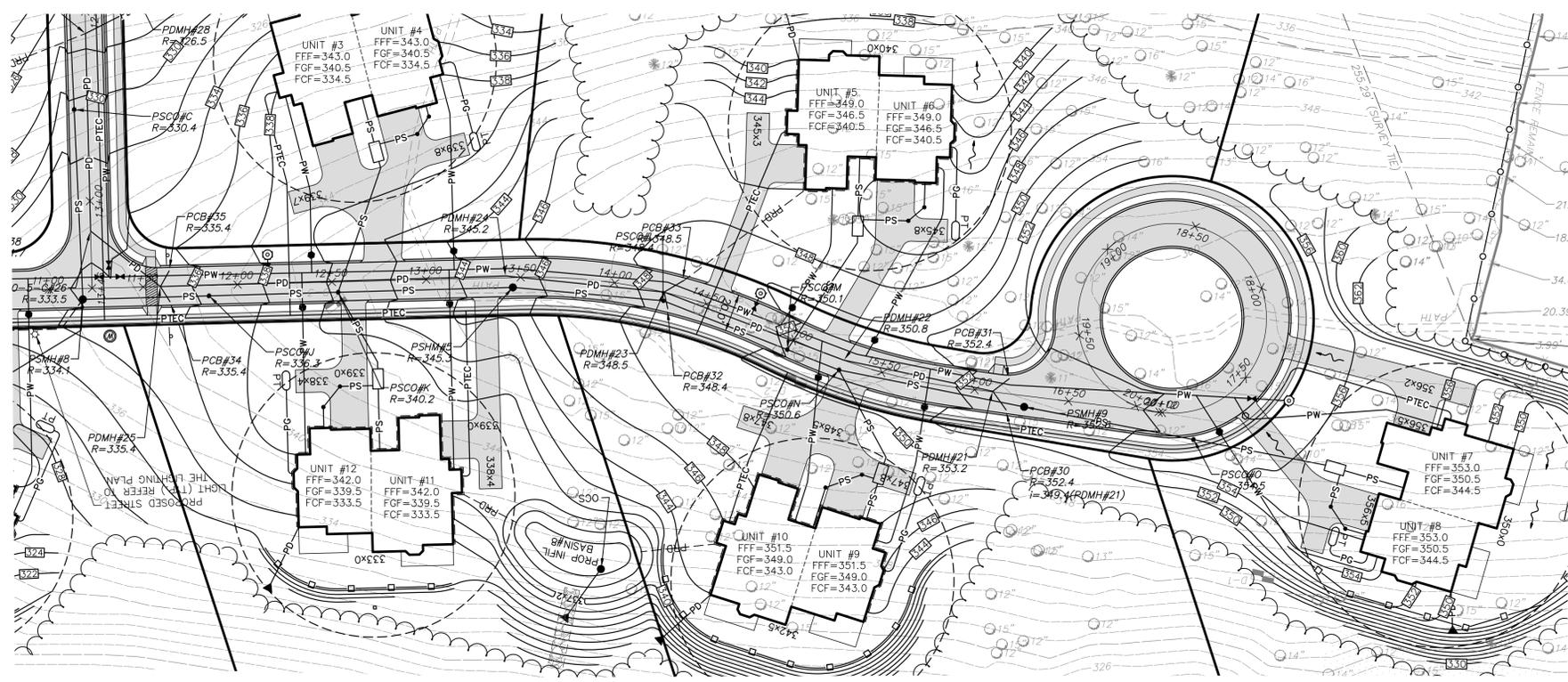
MERIDIAN ASSOCIATES
60 MILE STREET, SUITE 208
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOCIATES.COM

DESIGNED BY: _____
CHECKED BY: CEW

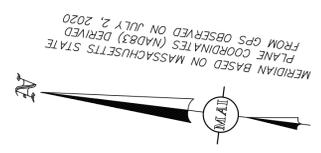
DATE: FEBRUARY 5, 2021
SCALE: 1" = 40'
SHEET No. 20 OF 27
PROJECT No. 6332



PLAN VIEW - PART 1 & PART 2
STATION 0+00 TO 11+00



PLAN VIEW - PART 3
STATION 11+00 TO 20+12



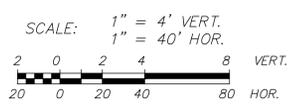
- NOTES:**
- EACH BUILDING WILL BE SERVED BY A 1000 GALLON UNDERGROUND PROPANE TANK. LOCATIONS ARE TO BE DETERMINED BY THE APPLICANT.
 - EACH BUILDING WILL BE SERVED BY A FOOTING DRAIN TO DAYLIGHT TO THE SURFACE. OUTLET LOCATIONS ARE TO BE DETERMINED BY THE APPLICANT.
 - CATCH BASIN RIMS TO BE SET AT BINDER PAVEMENT ELEVATION DURING CONSTRUCTION AND ADJUSTED TO FINAL ELEVATION WHEN FINAL PAVING IS INSTALLED.
 - REFER TO THE OPEN SPACE AND DRAINAGE KEY PLAN FOR THE LEGEND.
 - THE PROPOSED SUBSURFACE SEWAGE DISPOSAL SYSTEM AND THE SANITARY SEWER COLLECTION SYSTEM SHALL BE APPROVED BY THE GROTON BOARD OF HEALTH. REFER TO THE SUBSURFACE SEWAGE DISPOSAL SYSTEM PLANS FOR THE DESIGN OF THE SYSTEM.
 - REFER TO THE WATER EXTENSION PLANS BY PROVENCHER ENGINEERING, LLC DATED NOVEMBER 11, 2020.

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE _____
FOR REGISTRY OF DEEDS USE ONLY

APPROVED BY:
GROTON PLANNING BOARD

DATE: _____



I, _____ CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

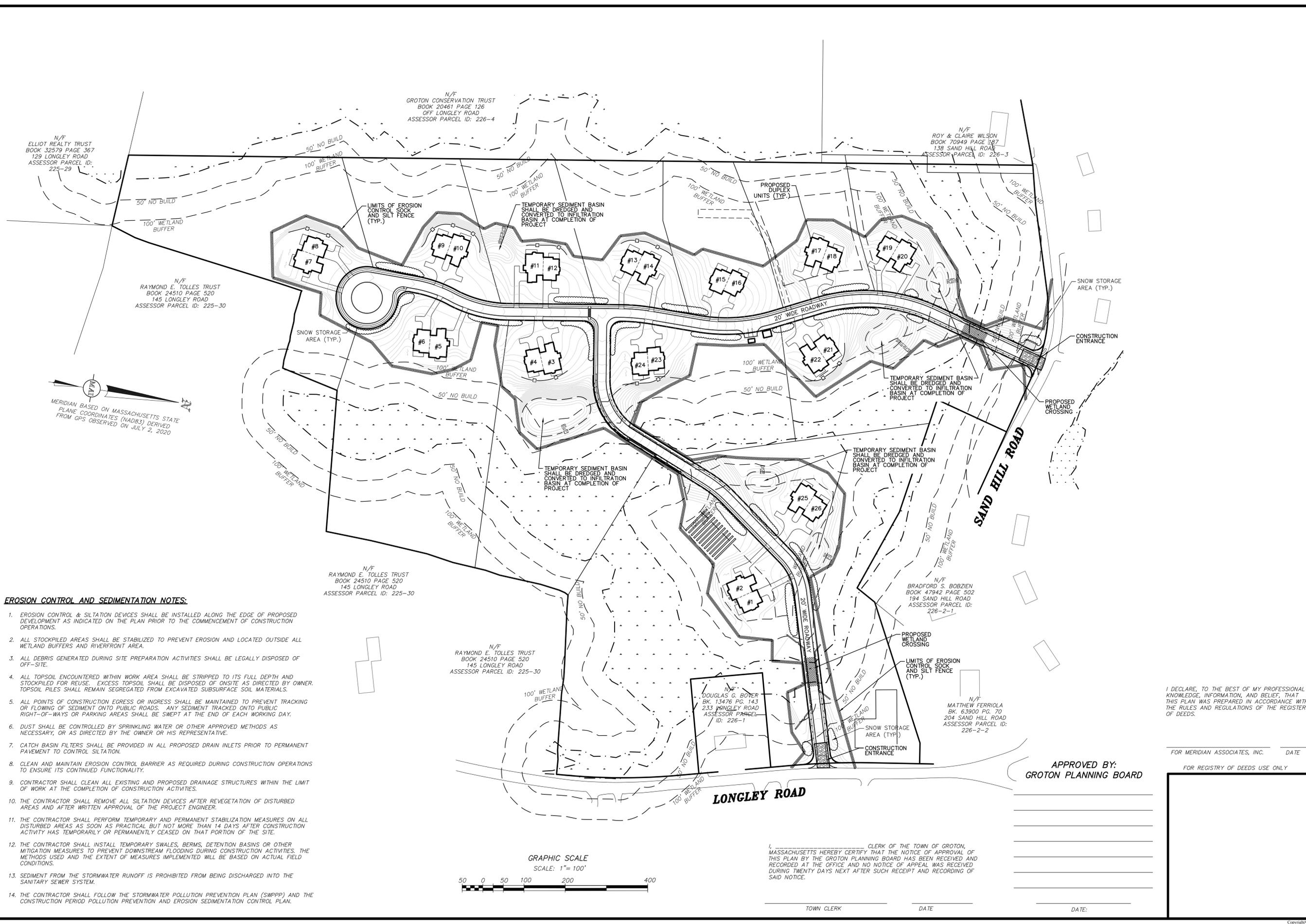
REVISIONS	DATE	DESCRIPTION	BY

THE VILLAGE AT SHEPLEY HILL
ROAD A - PLAN & PROFILE
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

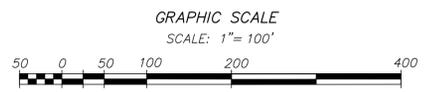
MERIDIAN ASSOCIATES
60 MILE STREET, SUITE 208
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOC.COM

DESIGNED BY: _____
CHECKED BY: CEW

DATE: FEBRUARY 5, 2021
SCALE: 1" = 40'
SHEET No. 21 of 27
PROJECT No. 6332



- EROSION CONTROL AND SEDIMENTATION NOTES:**
1. EROSION CONTROL & SILTATION DEVICES SHALL BE INSTALLED ALONG THE EDGE OF PROPOSED DEVELOPMENT AS INDICATED ON THE PLAN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OPERATIONS.
 2. ALL STOCKPILED AREAS SHALL BE STABILIZED TO PREVENT EROSION AND LOCATED OUTSIDE ALL WETLAND BUFFERS AND RIVERFRONT AREA.
 3. ALL DEBRIS GENERATED DURING SITE PREPARATION ACTIVITIES SHALL BE LEGALLY DISPOSED OF OFF-SITE.
 4. ALL TOPSOIL ENCOUNTERED WITHIN WORK AREA SHALL BE STRIPPED TO ITS FULL DEPTH AND STOCKPILED FOR REUSE. EXCESS TOPSOIL SHALL BE DISPOSED OF ONSITE AS DIRECTED BY OWNER. TOPSOIL PILES SHALL REMAIN SEGREGATED FROM EXCAVATED SUBSURFACE SOIL MATERIALS.
 5. ALL POINTS OF CONSTRUCTION EGRESS OR INGRESS SHALL BE MAINTAINED TO PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADS. ANY SEDIMENT TRACKED ONTO PUBLIC RIGHT-OF-WAYS OR PARKING AREAS SHALL BE SWEEPED AT THE END OF EACH WORKING DAY.
 6. DUST SHALL BE CONTROLLED BY SPRINKLING WATER OR OTHER APPROVED METHODS AS NECESSARY, OR AS DIRECTED BY THE OWNER OR HIS REPRESENTATIVE.
 7. CATCH BASIN FILTERS SHALL BE PROVIDED IN ALL PROPOSED DRAIN INLETS PRIOR TO PERMANENT PAVEMENT TO CONTROL SILTATION.
 8. CLEAN AND MAINTAIN EROSION CONTROL BARRIER AS REQUIRED DURING CONSTRUCTION OPERATIONS TO ENSURE ITS CONTINUED FUNCTIONALITY.
 9. CONTRACTOR SHALL CLEAN ALL EXISTING AND PROPOSED DRAINAGE STRUCTURES WITHIN THE LIMIT OF WORK AT THE COMPLETION OF CONSTRUCTION ACTIVITIES.
 10. THE CONTRACTOR SHALL REMOVE ALL SILTATION DEVICES AFTER REVEGETATION OF DISTURBED AREAS AND AFTER WRITTEN APPROVAL OF THE PROJECT ENGINEER.
 11. THE CONTRACTOR SHALL PERFORM TEMPORARY AND PERMANENT STABILIZATION MEASURES ON ALL DISTURBED AREAS AS SOON AS PRACTICAL BUT NOT MORE THAN 14 DAYS AFTER CONSTRUCTION ACTIVITY HAS TEMPORARILY OR PERMANENTLY CEASED ON THAT PORTION OF THE SITE.
 12. THE CONTRACTOR SHALL INSTALL TEMPORARY SWALES, BERMS, DETENTION BASINS OR OTHER MITIGATION MEASURES TO PREVENT DOWNSTREAM FLOODING DURING CONSTRUCTION ACTIVITIES. THE METHODS USED AND THE EXTENT OF MEASURES IMPLEMENTED WILL BE BASED ON ACTUAL FIELD CONDITIONS.
 13. SEDIMENT FROM THE STORMWATER RUNOFF IS PROHIBITED FROM BEING DISCHARGED INTO THE SANITARY SEWER SYSTEM.
 14. THE CONTRACTOR SHALL FOLLOW THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND THE CONSTRUCTION PERIOD POLLUTION PREVENTION AND EROSION SEDIMENTATION CONTROL PLAN.



I, _____ CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

APPROVED BY:
GROTON PLANNING BOARD

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE _____

FOR REGISTRY OF DEEDS USE ONLY

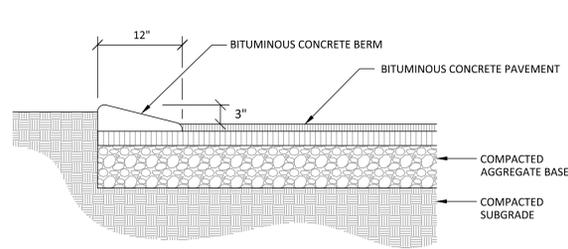
REVISIONS	DATE	DESCRIPTION	BY

THE VILLAGE AT SHEPLEY HILL
EROSTON & SEDIMENT CONTROL PLAN
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

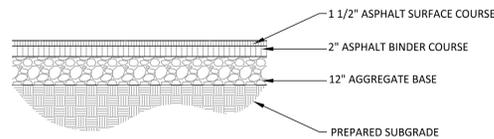
MERIDIANS ASSOCIATES
60 MIKE STREET, SUITE 208
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANSASSOC.COM

CHECKED BY: CEW

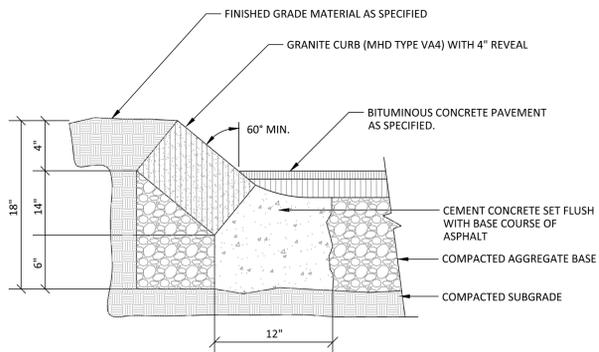
DATE: FEBRUARY 5, 2021
SCALE: 1"=100'
SHEET No. 22 of 27
PROJECT No. 6332



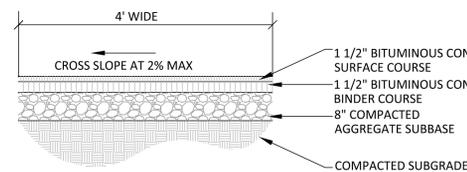
BITUMINOUS CONCRETE BERM
(NOT TO SCALE)



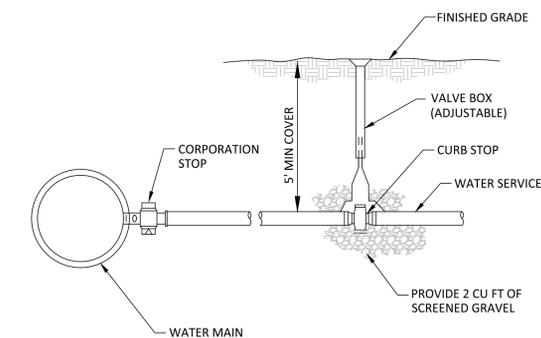
BITUMINOUS CONCRETE PAVEMENT SECTION
(NOT TO SCALE)



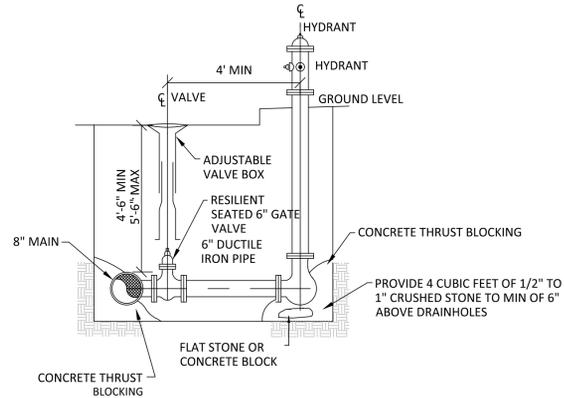
SLOPED GRANITE CURB
(NOT TO SCALE)



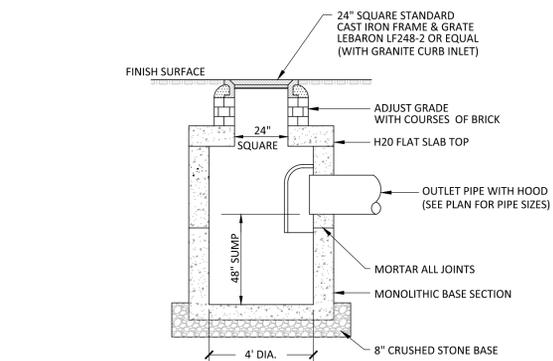
BITUMINOUS CONCRETE WALKWAY
(NOT TO SCALE)



WATER SERVICE CONNECTION
(NOT TO SCALE)



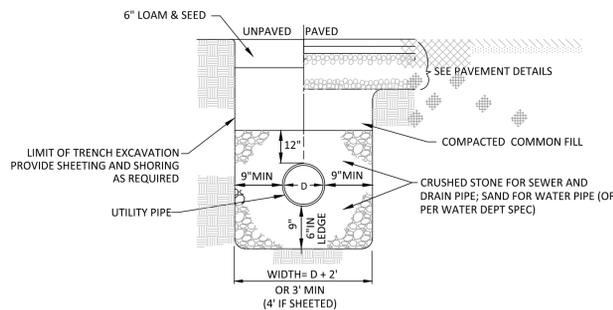
HYDRANT AND GATE VALVE DETAIL
(NOT TO SCALE)



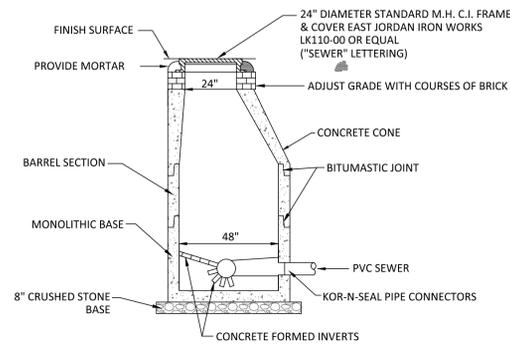
- NOTES:
 1. STRUCTURE DESIGN TO LATEST ASTM C478.
 2. REINFORCING STEEL CONFORMS TO LATEST ASTM A 185
 3. CONCRETE COMPRESSIVE STRENGTH - 4,000 PSI @ 28 DAYS.
 4. FLAT SLAB TOP AASHTO H-20.5. ONE POUR MONOLITHIC BASE.

PRECAST CONCRETE CATCH BASIN W/ TRAP
(NOT TO SCALE)

TRENCH WIDTH (W)		
D DIAMETER OF PIPE	W UNSHEETED	W SHEETED
TO 12"	3'	4'
14" TO 24"	4'	5'
30" TO 36"	5'	6'

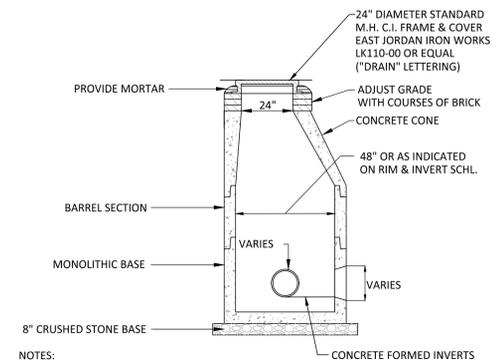


TYPICAL TRENCH SECTION
(NOT TO SCALE)



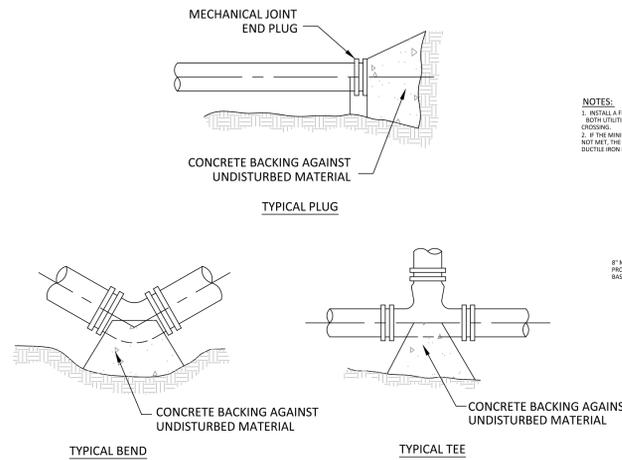
- NOTES:
 1. MANHOLE DESIGN SHALL CONFORM TO LATEST ASTM C478.
 2. REINFORCING STEEL SHALL CONFORM TO LATEST ASTM A 185.
 3. CONCRETE COMPRESSIVE STRENGTH - 4,000 PSI @ 28 DAYS.
 4. ONE POUR MONOLITHIC BASE.
 5. STEPS - STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTIC (PS2-PFSL M.A. INDUSTRIES, INC.) CONFORMING TO LATEST ASTM C478 PARA-12.
 6. KOR-N-SEAL FLEXIBLE PIPE CONNECTORS SHALL CONFORM TO LATEST ASTM C923, A167.

SEWER MANHOLE DETAIL (SMH)
(NOT TO SCALE)

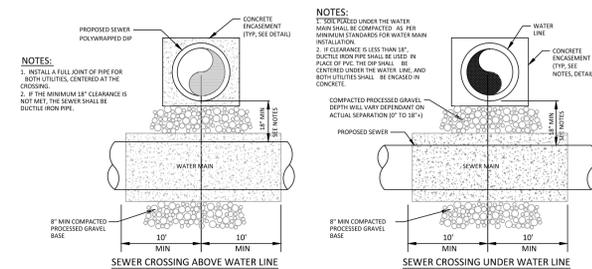


- NOTES:
 1. MANHOLE DESIGN TO LATEST ASTM C478.
 2. REINFORCING STEEL CONFORMS TO LATEST ASTM A 185.
 3. CONCRETE COMPRESSIVE STRENGTH - 4,000 PSI @ 28 DAYS.
 4. ONE POUR MONOLITHIC BASE.
 5. STEPS - STEEL REINFORCED COPOLYMER POLYPROPYLENE PLASTICS (PS2-PFSL M.A. INDUSTRIES, INC.) CONFORMS TO LATEST ASTM C478 PARA-12.
 6. BITUMASTIC BUTYL RUBBER FOR JOINTS CONFORM TO LATEST ASTM C443 AND FED SS-5-201A SPEC.

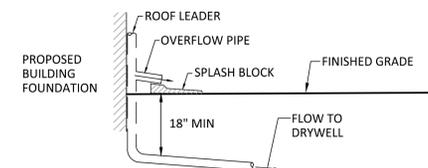
PRECAST CONCRETE DRAIN MANHOLE
(NOT TO SCALE)



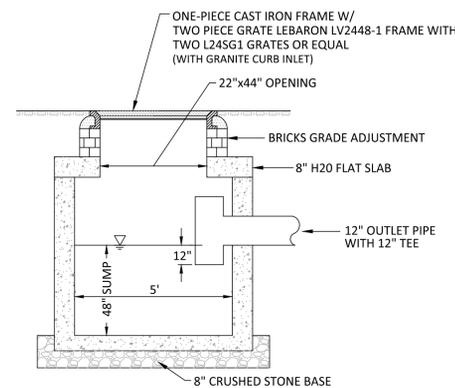
THRUST BLOCK DETAILS
(NOT TO SCALE)



SEWER/WATER MAIN CROSSING
(NOT TO SCALE)



ROOF DOWNSPOUT CONNECTION
(NOT TO SCALE)



- NOTE:
 SEE SINGLE CATCH BASIN DETAIL FOR ADDITIONAL INFORMATION

DOUBLE CATCHBASIN (DCB)
(NOT TO SCALE)

I, _____ CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

DATE

APPROVED BY:
 GROTON PLANNING BOARD

DATE:

FOR MERIDIAN ASSOCIATES, INC. DATE

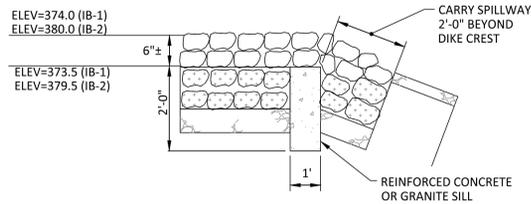
FOR REGISTRY OF DEEDS USE ONLY

REVISIONS	DATE	DESCRIPTION	BY

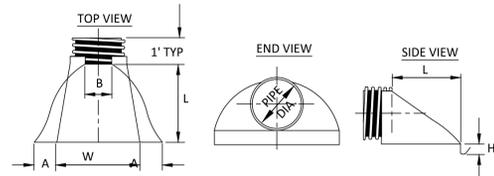
THE VILLAGE AT SHEPLEY HILL
 DETAIL SHEET
 LOCATED IN
 GROTON, MASSACHUSETTS
 (MIDDLESEX COUNTY)
 PREPARED FOR
 SHEPLEY HILL CAPITAL PARTNERS LLC

MERIDIAN ASSOCIATES
 500 CLAMMING CENTER SUITE 500
 BEVERLY, MASSACHUSETTS 01915
 TELEPHONE: (978) 299-0447
 WWW.MERIDIANASSOC.COM
 60 MILE STREET, SUITE 208
 WESTBOROUGH, MASSACHUSETTS 01581
 TELEPHONE: (508) 871-7030

DESIGNED BY: CEW
 CHECKED BY: CEW
 DATE: FEBRUARY 5, 2021
 SCALE: N.T.S.
 SHEET No. 23 of 27
 PROJECT No. 6332



SECTION A-A

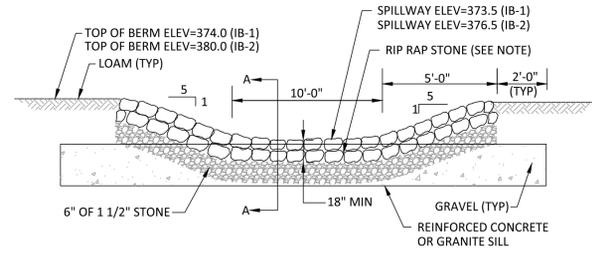


PIPE DIAMETER	DIMENSIONS, INCHES (MM)					
	PART NO.	A, ±1(25)	B MAX	H, ±(25)	L±1/2 (13)	W, ±2 (50)
12, 15 (300,375)	1210 NP	6.5(165)	10(254)	6.5(165)	25(635)	29(736)
18(450)	1810 NP	7.5(190)	15(380)	6.5(168)	32(812)	35(890)
24(600)	2410 NP	7.5(190)	18(450)	6.5 (165)	36(900)	45(1140)
30(750)	3010 NP	10.5(266)	NA	7.0(178)	53(1346)	68(1725)
36(900)	3610 NP	10.5 (266)	NA	7.0(178)	53(1346)	68(1725)

INSTALLATION INSTRUCTIONS:

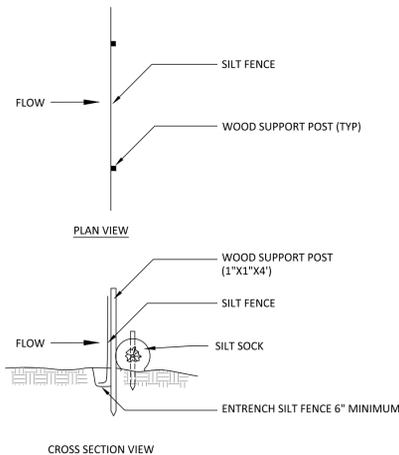
1. SPREAD THE END SECTION COLLAR AND PLACE IT OVER THE LAST PIPE CORRUGATION. MAKE SURE THE COLLAR SEATS PROPERLY IN THE CORRUGATION VALLEY.
2. INSERT THREADED ROD THROUGH THE PRE-DRILLED HOLES IN THE END SECTION COLLAR. TIGHTEN WING NUTS.
3. PLACE BACKFILL AROUND THE END SECTION AND OVER THE TOE PLATE. USE CARE DURING COMPACTION ALONG THE SIDES TO PREVENT DISTORTION.

ADS FLARED END SECTIONS
(NOT TO SCALE)



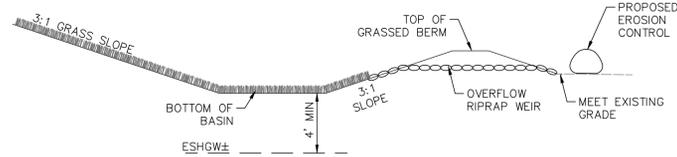
NOTE:
75% OF RIP-RAP STONE SHALL BE 70 TO 100 LBS. AND SHALL BE HAND CHINKED TO LEAVE A SMOOTH SURFACE ALONG THE TOP OF THE DIKE AND A ROUGH SURFACE ALONG DOWNSTREAM SURFACE AND TOE OF THE DIKE.

EMERGENCY SPILLWAY SILL (IB-1 & IB-2)
(NOT TO SCALE)

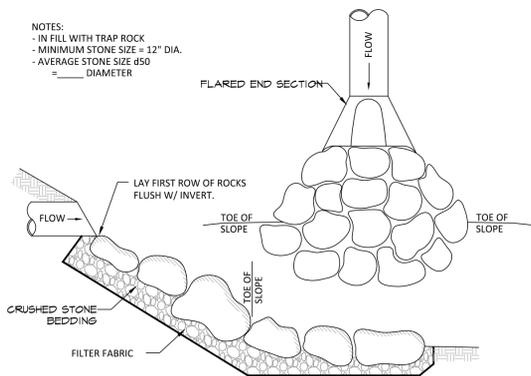


NOTE: WOOD SUPPORT POST TO BE DRIVEN 18" MIN. INTO GRADE. MAX. SPACING BETWEEN SUPPORT POSTS TO BE 6'.

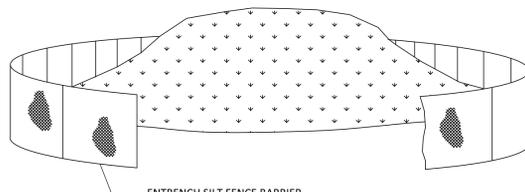
SILT FENCE BARRIER (SFB)
NOT TO SCALE



TYPICAL INFILTRATION BASIN SECTION
(NOT TO SCALE)

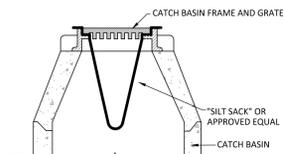


RIP-RAP APRON
NOT TO SCALE



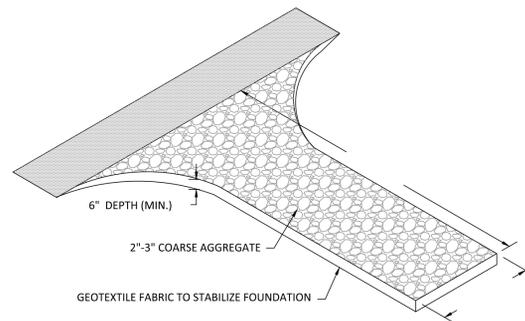
NOTES:
LOCATE STOCKPILE IN A DRY AND STABLE AREA OUTSIDE OF 100' WETLAND BUFFER ZONE.
STABILIZE STOCKPILE WITH ANNUAL RYEGRASS, MULCH OR EROSION CONTROL BLANKETS.

SOIL STOCKPILE
(NOT TO SCALE)

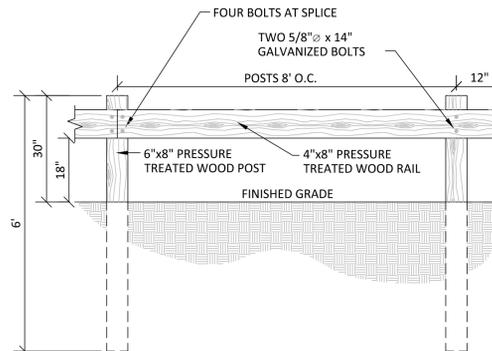


NOTES:
1. TO BE INSTALLED IN ALL CATCH BASINS UNTIL COMPLETION OF CONSTRUCTION.
2. BOOT ADAPTER MAY BE TRIMMED TO SIZE.

FILTER BAG
(NOT TO SCALE)



CONSTRUCTION ENTRANCE/EXIT PAD
(NOT TO SCALE)



WOODEN GUARDRAIL
(NOT TO SCALE)

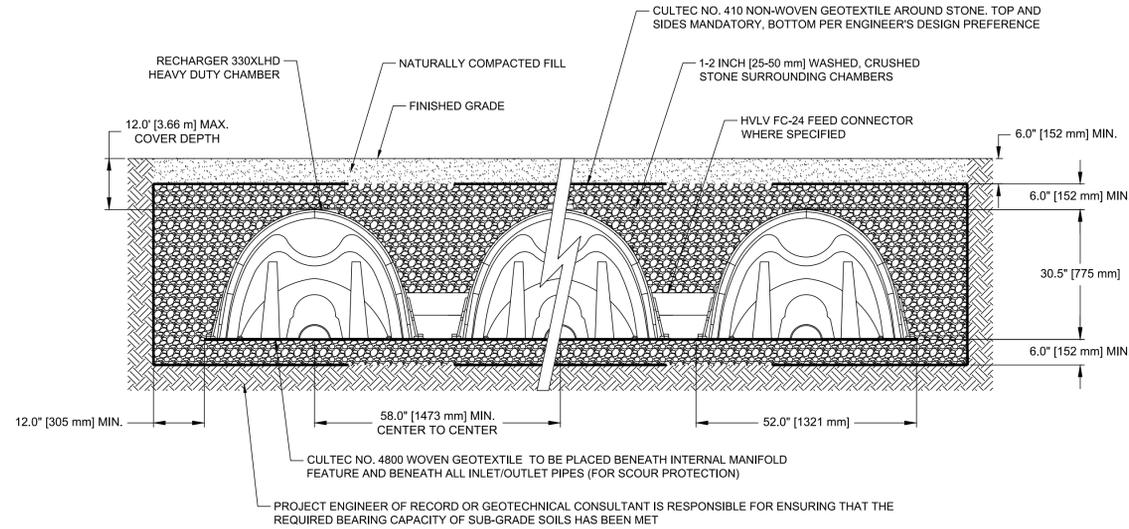
I, _____ CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

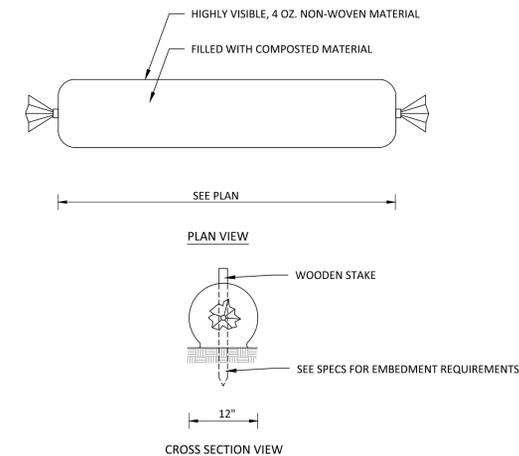
DATE

APPROVED BY:
GROTON PLANNING BOARD

DATE:



CULTEC RECHARGER 330XLHD INFILTRATION CHAMBERS
(NOT TO SCALE)



NOTE:
THE FILTER SOCK SHALL BE STAKED ON ENDS AND THROUGH THE CENTER AT 10 FT INTERVALS. PROVIDE UPSLOPE RETURNS AT ENDS.

COMPOST FILTER SOCK - SEDIMENT CONTROL
(NOT TO SCALE)

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE

FOR REGISTRY OF DEEDS USE ONLY

REVISIONS	DATE	DESCRIPTION

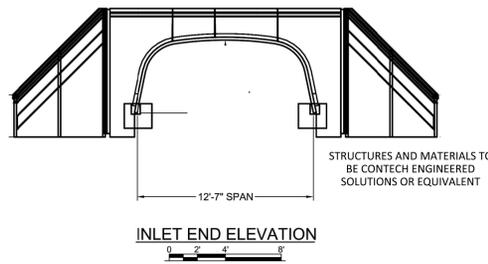
THE VILLAGE AT SHEPLEY HILL
DETAIL SHEET
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

MERIDIAN ASSOCIATES
500 CLAMMING CENTER SUITE 500
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOC.COM

60 MILE STREET, SUITE 208
WESTBOROUGH, MASSACHUSETTS 01581
TELEPHONE: (508) 871-7000

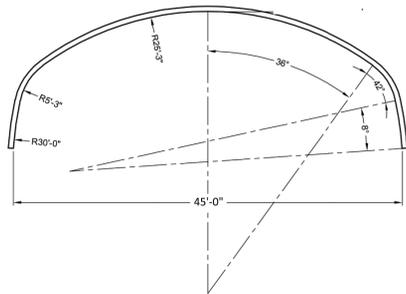
CHECKED BY: CEW

DATE: FEBRUARY 5, 2021
SCALE: N.T.S.
SHEET No. 24 OF 27
PROJECT No. 6332

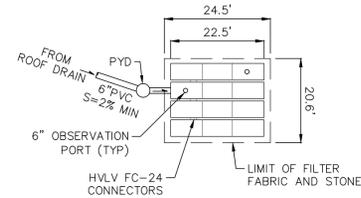


SCHEMATIC CULVERT CROSSING - ROAD B
(NOT TO SCALE)

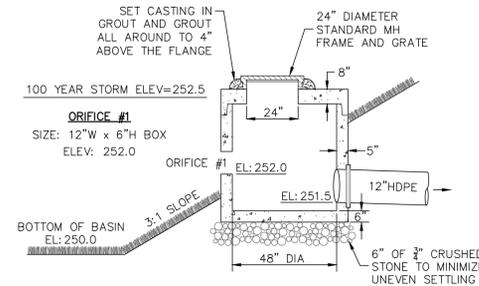
* FINAL DIMENSIONS OF ALL CULVERTS TO BE FIELD VERIFIED



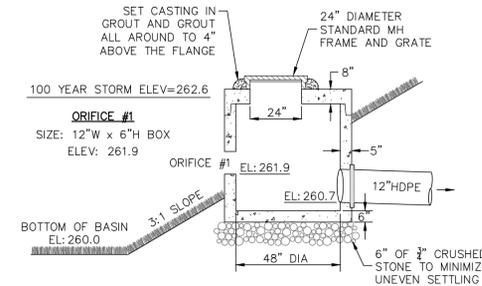
SCHEMATIC CULVERT CROSSING - ROAD A
(NOT TO SCALE)



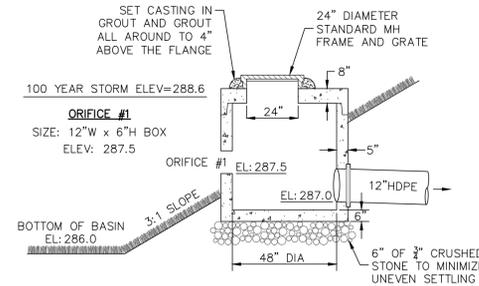
PROVIDE 12 CULTEC RECHARGER 330XL UNITS
(PLAN VIEW)
TYPICAL SUBSURFACE INFILTRATION FACILITY
(NOT TO SCALE)



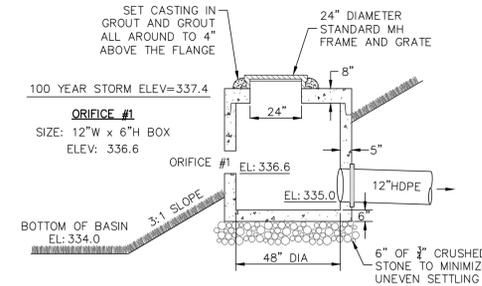
BASIN #1
OUTLET CONTROL STRUCTURE
(NOT TO SCALE)



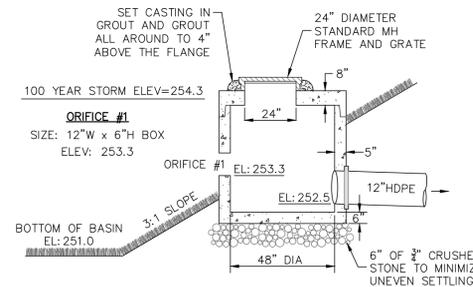
BASIN #2
OUTLET CONTROL STRUCTURE
(NOT TO SCALE)



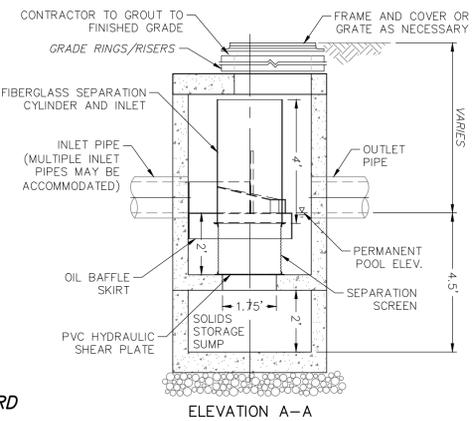
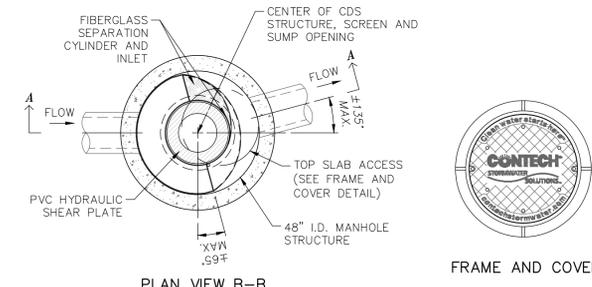
BASIN #3
OUTLET CONTROL STRUCTURE
(NOT TO SCALE)



BASIN #8
OUTLET CONTROL STRUCTURE
(NOT TO SCALE)

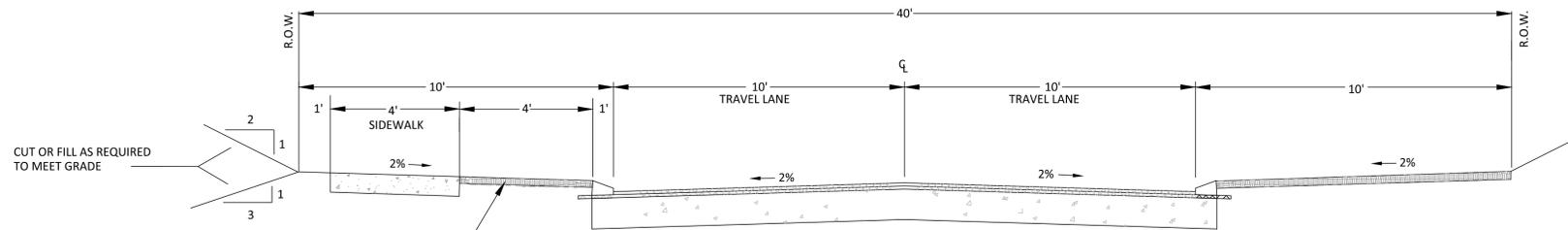


BASIN #5
OUTLET CONTROL STRUCTURE
(NOT TO SCALE)



- NOTES:
1. PROVIDE CDS 2015-4-C AS MANUFACTURED BY CONTECH ENGINEERED SOLUTIONS OR EQUAL.
 2. UNIT CAN BE CONFIGURED WITH GRATED COVER AS NECESSARY.

CONTECH CDS DETAIL
(NOT TO SCALE)



ROADWAY CROSS SECTION
(NOT TO SCALE)

ORIGINAL ORGANIC FREE MATERIAL MEETING TYPE B M.103.0 OR COMPACTED GRAVEL-APPROVED BY D.P.W. OR ITS AGENT

4\"/>

ALL UNSUITABLE SUBGRADE MATERIAL WITHIN RIGHT OF WAY SHALL BE REMOVED.

APPROVED BY:
GROTON PLANNING BOARD

I, _____ CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK

DATE

DATE:

REVISIONS	DATE	DESCRIPTION

THE VILLAGE AT SHEPLEY HILL
DETAIL SHEET
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

MERIDIAN ASSOCIATES
60 MILLS STREET, SUITE 208
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOC.COM

DATE: FEBRUARY 5, 2021
SCALE: N.T.S.
SHEET No. 25 of 27
PROJECT No. 6332

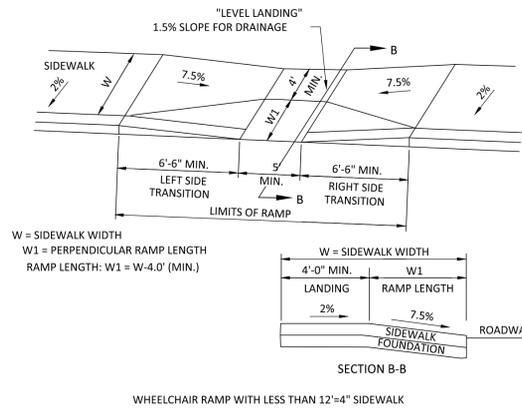
I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE

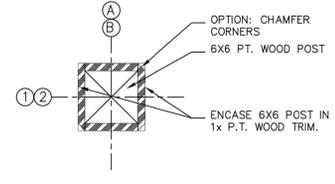
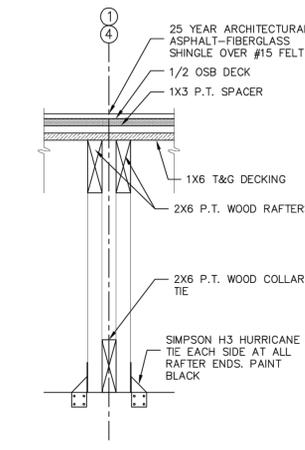
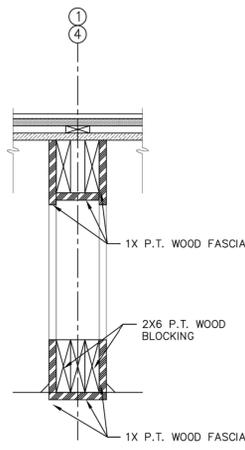
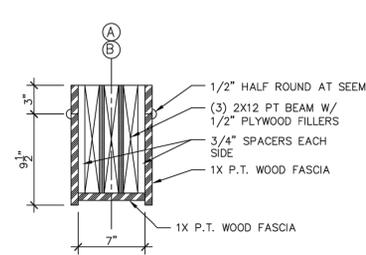
I, CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

APPROVED BY:
GROTON PLANNING BOARD

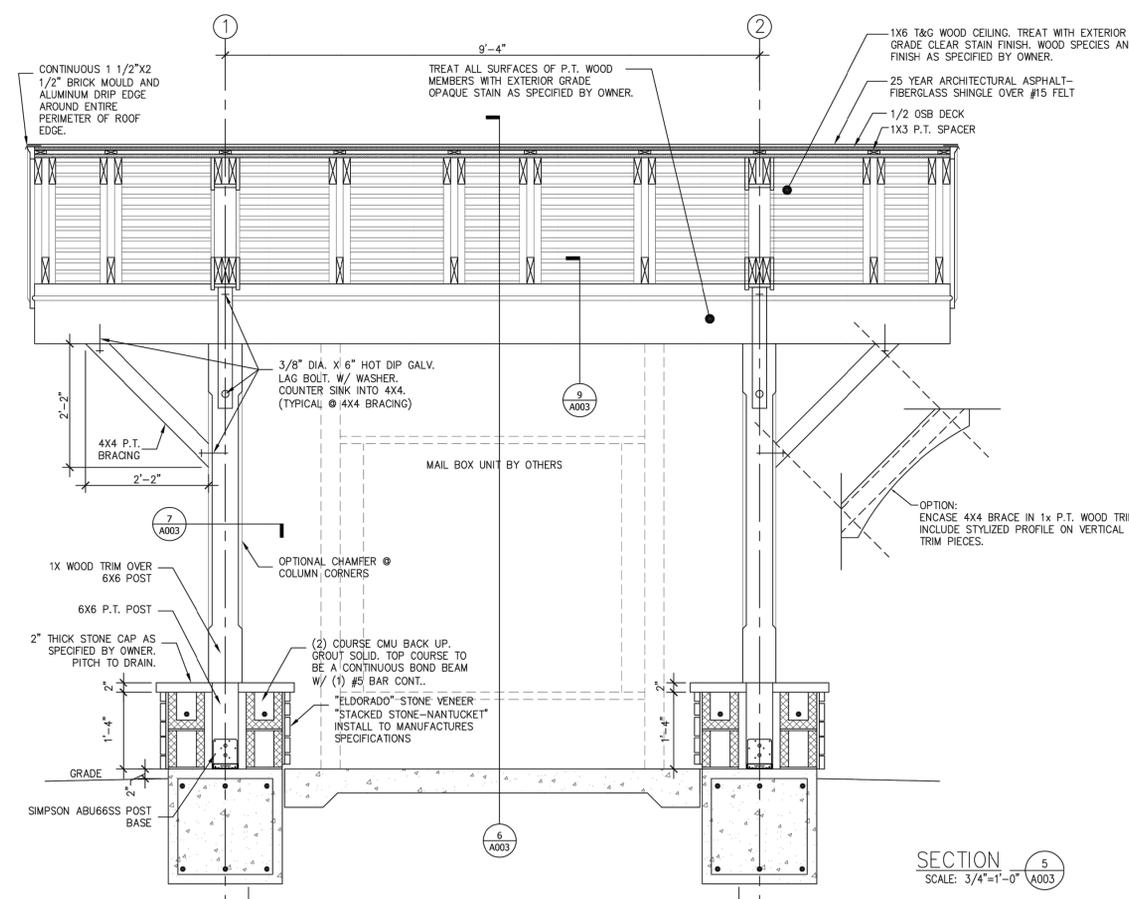
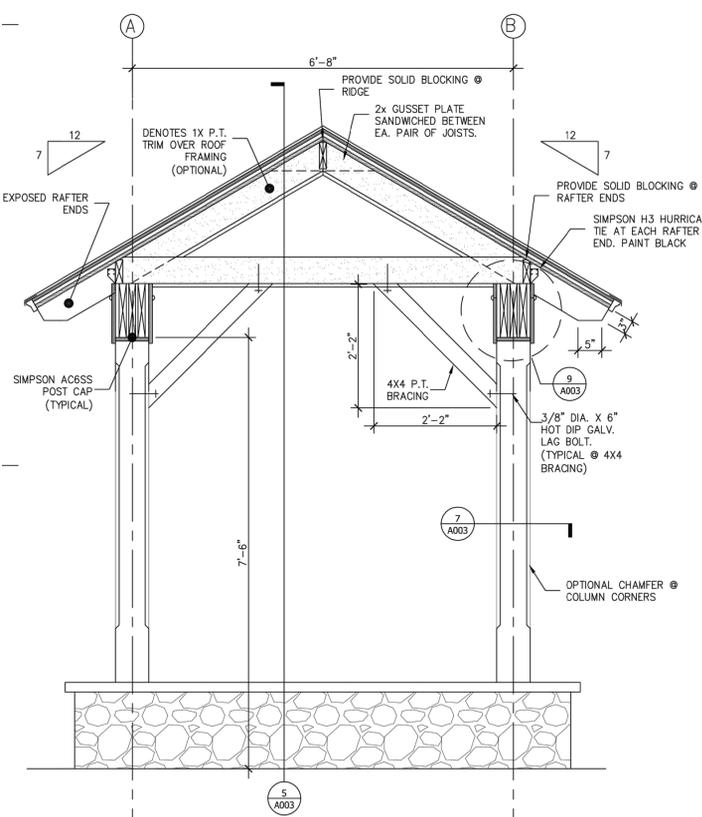
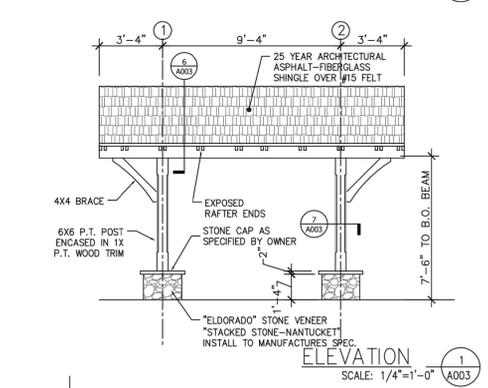
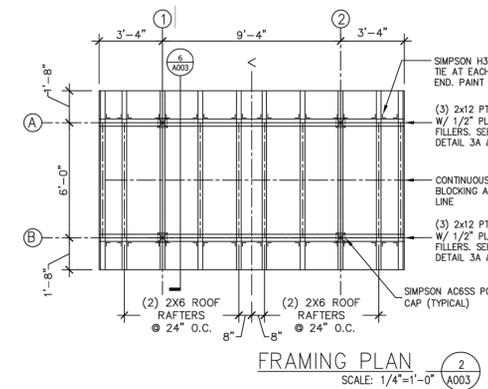
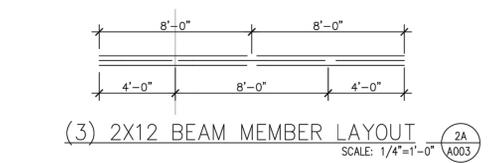
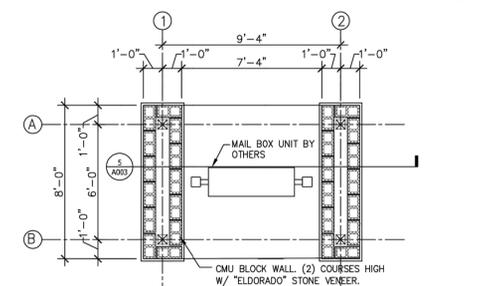
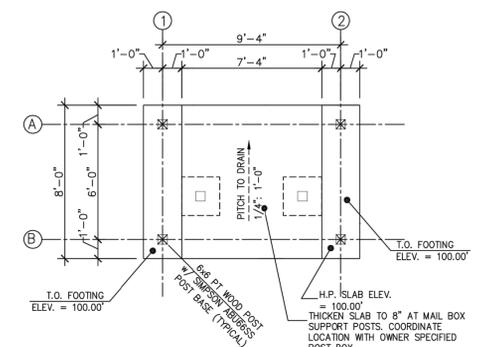
TOWN CLERK DATE



HANDICAP RAMP
NOT TO SCALE



DETAIL SHOWN FOR SCHEMATIC PURPOSES ONLY.
FINAL MAILBOX DESIGN BY OTHERS.



REVISIONS	DATE	DESCRIPTION	BY

THE VILLAGE AT SHEPLEY HILL
LOCATED IN
DETAIL SHEET
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

MERIDIAN ASSOCIATES
500 CLAMMING CENTER SUITE 500
BEVERLY MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOC.COM

60 MILE STREET SUITE 208
WESTBOROUGH MASSACHUSETTS 01581
TELEPHONE: (508) 871-7030

DESIGNED BY: CEW
CHECKED BY: CEW

DATE: FEBRUARY 5, 2021
SCALE: N.T.S.
SHEET No. 26 of 27
PROJECT No. 6332

UNOFFICIAL SOIL TESTING

UNOFFICIAL SOIL TESTING PERFORMED ON OCTOBER 29, 2020
BY CHRIS BROYLES, SE 13780, MERIDIAN ASSOCIATES

TP D-1
0'-10" HORIZON A: LOAMY SAND
10'-23" HORIZON B: SANDY LOAM
23'-60" LAYER C: FINE SANDY LOAM

ESHW NOT OBSERVED
NO WEEPING, NO STANDING WATER

TP D-2
0'-12" HORIZON A: LOAMY SAND
12'-24" HORIZON B: SANDY LOAM
24'-69" LAYER C: FINE SANDY LOAM

ESHW NOT OBSERVED
NO WEEPING, NO STANDING WATER

TP D-3
0'-12" HORIZON A: LOAMY SAND
12'-23" HORIZON B: SANDY LOAM
23'-70" LAYER C: FINE SANDY LOAM

ESHW NOT OBSERVED
NO WEEPING, NO STANDING WATER

TP D-4
0'-16" HORIZON A: LOAMY SAND
16'-27" HORIZON B: SANDY LOAM
27'-44" LAYER C: SAND
44'-87" LAYER C₂: SAND

ESHW @ 84"
NO WEEPING, NO STANDING WATER

TP D-5
0'-11" HORIZON A: LOAMY SAND
11'-19" HORIZON B: SANDY LOAM
19'-28" LAYER C: SANDY LOAM
28'-84" LAYER C₂: LOAMY SAND

ESHW NOT OBSERVED
NO WEEPING, NO STANDING WATER

TP D-6
0'-11" HORIZON A: LOAMY SAND
11'-21" HORIZON B: SANDY LOAM
21'-30" LAYER C: SANDY LOAM
30'-108" LAYER C₂: GRAVELY LOAMY SAND

ESHW NOT OBSERVED
NO WEEPING, NO STANDING WATER

TP D-7
0'-9" HORIZON A: LOAMY SAND
9'-23" HORIZON B: SAND
23'-50" LAYER C: SAND
50'-71" LAYER C₂: FINE SAND
71'-78" LAYER C₃: SILT LOAM

ESHW NOT OBSERVED
NO WEEPING, NO STANDING WATER

TP D-8
0'-11" HORIZON A: LOAMY SAND
11'-28" HORIZON B: SAND
28'-66" LAYER C: SAND
66'-108" LAYER C₂: FINE SAND

ESHW NOT OBSERVED
NO WEEPING, NO STANDING WATER

OFFICIAL SOIL TESTING

OFFICIAL SOIL TESTING PERFORMED ON SEPTEMBER 14, 2020
BY APRIL FERRARO, SE 2878, MERIDIAN ASSOCIATES, AND
WITNESSED BY IRA GROSSMAN FOR THE TOWN OF GROTON

TP-1
0'-6" HORIZON A: FINE LOAMY SAND
6'-13" HORIZON B_w: FINE LOAMY SAND
13'-31" LAYER C: FINE SANDY LOAM
31'-92" LAYER C_{2d}: GRAVELY SILT LOAM

ESHW @ 59"
NO WEEPING, NO STANDING WATER

TP-2
0'-7" HORIZON A: FINE LOAMY SAND
7'-16" HORIZON B_w: FINE LOAMY SAND
16'-30" LAYER C: FINE SANDY LOAM
30'-76" LAYER C_{2d}: GRAVELY SILT LOAM

ESHW @ 35"
NO WEEPING, NO STANDING WATER

TP-3
0'-8" HORIZON A: FINE LOAMY SAND
8'-28" HORIZON B_w: FINE LOAMY SAND
28'-46" LAYER C: FINE SANDY LOAM
46'-87" LAYER C_{2d}: GRAVELY SILT LOAM

ESHW @ 60"
NO WEEPING, NO STANDING WATER

TP-4
0'-9" HORIZON A: FINE LOAMY SAND
9'-23" HORIZON B_w: FINE SAND
23'-53" LAYER C: FINE SAND
53'-93" LAYER C_{2d}: SILT LOAM

ESHW @ 53"
NO WEEPING, NO STANDING WATER

TP-5
0'-6" HORIZON A: FINE LOAMY SAND
6'-18" HORIZON B_w: FINE LOAMY SAND
18'-28" LAYER C: FINE SANDY LOAM
28'-93" LAYER C_{2d}: GRAVELY SILT LOAM

ESHW @ 36"
NO WEEPING, NO STANDING WATER

TP-6
0'-7" HORIZON A: FINE LOAMY SAND
7'-17" HORIZON B_w: FINE SAND
17'-32" LAYER C: FINE SANDY LOAM
32'-86" LAYER C_{2d}: GRAVELY SILT LOAM

ESHW @ 38"
NO WEEPING, NO STANDING WATER

UNOFFICIAL SOIL TESTING

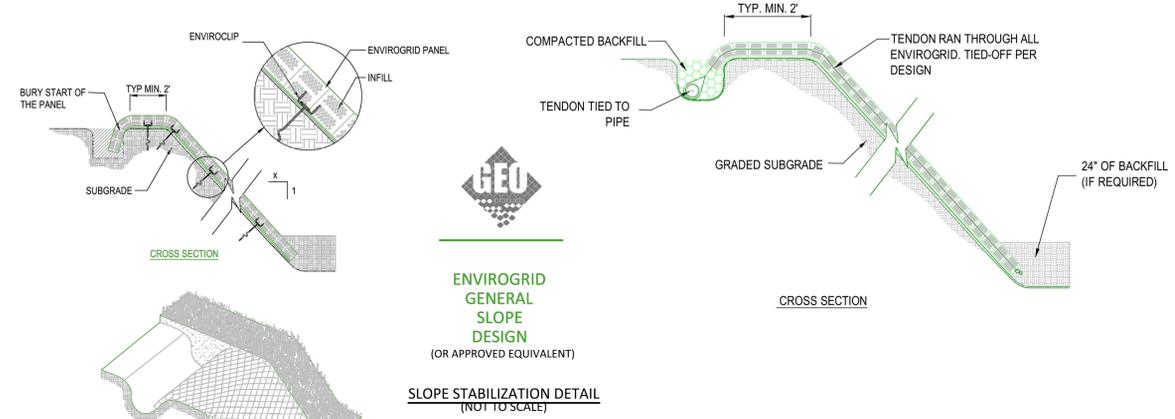
UNOFFICIAL SOIL TESTING PERFORMED ON JANUARY 21, 2021
BY APRIL FERRARO, SE 2878, MERIDIAN ASSOCIATES

TP D-9
0'-9" HORIZON A: FINE LOAMY SAND
9'-14" HORIZON B: LOAMY SAND
14'-99" LAYER C: GRAVELY LOAMY SAND

ESHW AT 38"
WEEPING AT 38"
STANDING WATER AT 65"

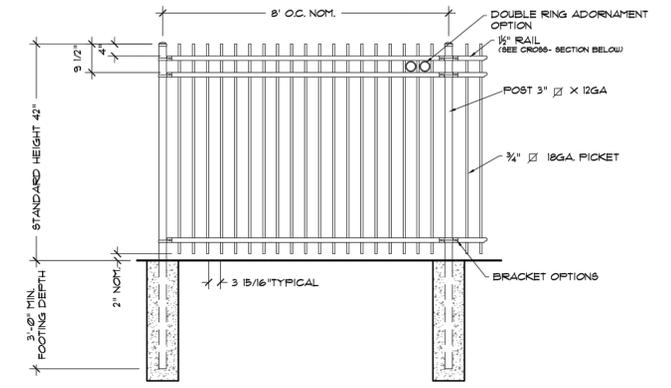
TP D-10
0'-11" HORIZON A: LOAMY SAND
11'-24" HORIZON B: MEDIUM SAND
24'-67" LAYER C: MEDIUM SAND

ESHW NOT OBSERVED
NO WEEPING, NO STANDING WATER

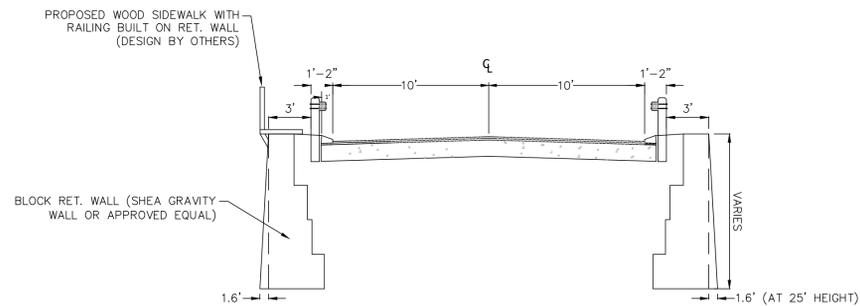


ENVIROGRID GENERAL SLOPE DESIGN
(OR APPROVED EQUIVALENT)

SLOPE STABILIZATION DETAIL
(NOT TO SCALE)



SITE FENCING DETAIL
(NOT TO SCALE)



INTERIOR CROSSING ROAD SECTION
(NOT TO SCALE)

I, _____ CLERK OF THE TOWN OF GROTON, MASSACHUSETTS HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE GROTON PLANNING BOARD HAS BEEN RECEIVED AND RECORDED AT THE OFFICE AND NO NOTICE OF APPEAL WAS RECEIVED DURING TWENTY DAYS NEXT AFTER SUCH RECEIPT AND RECORDING OF SAID NOTICE.

TOWN CLERK _____ DATE _____

APPROVED BY:
GROTON PLANNING BOARD

DATE: _____

I DECLARE, TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS.

FOR MERIDIAN ASSOCIATES, INC. DATE _____
FOR REGISTRY OF DEEDS USE ONLY

DATE: FEBRUARY 5, 2021
SCALE: N.T.S.
SHEET No. 27 OF 27
PROJECT No. 6332

REVISIONS	DATE	DESCRIPTION	BY

THE VILLAGE AT SHEPLEY HILL
DETAIL SHEET
LOCATED IN
GROTON, MASSACHUSETTS
(MIDDLESEX COUNTY)
PREPARED FOR
SHEPLEY HILL CAPITAL PARTNERS LLC

MERIDIAN ASSOCIATES
60 MILE STREET, SUITE 208
BEVERLY, MASSACHUSETTS 01915
TELEPHONE: (978) 299-0447
WWW.MERIDIANASSOC.COM
DESIGNED BY: CEW
CHECKED BY: CEW